

COUNTY OF CLEVELAND, NORTH CAROLINA
AGENDA FOR THE REGULAR COMMISSION MEETING

June 17, 2025

6:00 PM

County Commissioners Meeting

- **Call to Order and Determination of a Quorum** - Commission Chair
- **Pledge of Allegiance and Invocation** (Please stand for the Pledge of Allegiance and remain standing for the Invocation)
- **Recognition of Elected Officials**
- **Recognition of Veterans**
- **Recognition of Law Enforcement**
- **Recognition of County Department Heads**

1. MOTION TO ADOPT THE PROPOSED AGENDA

(Only emergency items shall be added to the agenda. Upon approval of the Commission Chair and County Commission, the item will be added.)

2. CONSENT AGENDA

Motion to approve the following Consent Agenda items: (Consent items will be adopted with a single motion, second and vote, unless a request for removal from the Consent Agenda is heard from a Commissioner.)

- A. **Tax** May 2025 Collection Report
 Administration
- B. **Tax** May 2025 Abatements and Supplements
 Administration
- C. **Tax** Pending Refunds and Releases
 Administration
- D. **Tax** Late Applications for Exemption / Exclusion / Deferral
 Administration
- E. **Finance** Budget Transfer Summary

- | | <u>Department</u> | |
|----|---|--|
| F. | <u>Sheriff's Office</u> | Budget Amendment (BNA#087) |
| G. | <u>Sheriff's Office</u> | Budget Amendment (BNA#088) |
| H. | <u>Finance Department</u> | Budget Amendment (BNA#089) |
| I. | <u>Health Department</u> | Budget Amendment (BNA#90) |
| J. | <u>Sheriff's Office</u> | Budget Amendment (BNA#91) |
| K. | <u>Finance Department</u> | Budget Amendment (BNA#92) |
| L. | <u>Planning Department</u> | Request to Set a Public Hearing on Tuesday, July 8, 2025, for Planning Case 25-08; Request to Rezone 208 Bell Road from Residential (R) to Neighborhood Business - Conditional Use (NB-CU) |
| M. | <u>Yates Metcon</u> | Phase 2A/2B Sitework Package |
| N. | <u>Legal Department</u> | Conveyance of Land to Cleveland County Volunteer Fire Department |
| O. | <u>County Commissioners</u> | Preserving Local Sales Tax Revenue for County Governments |
| P. | <u>Juvenile Crime Prevention Council</u> | Annual Report |

REGULAR AGENDA

3. Minimum Housing Parcel 16827
Chris Martin, Planning Director

PUBLIC HEARINGS

Individuals who wish to address the Board during the public hearing shall register with the Clerk to the Board providing their true name and address on the sign-up sheet. Each individual wishing to address the Board shall only register themselves and will not be permitted to enter the name of any other individual, as the sign-up sheet is a public record available for inspection. The sign-up sheet will be available fifty (50) minutes prior to the start of each meeting. The sign-up sheet will be collected ten (10) minutes prior to the start of each meeting by the Clerk to the Board. Individuals who have not entered their true name and address on the sign-up sheet within the designated time period will not be

permitted to address the Board, unless the Chair, in the Chair's sole discretion, permits.

Citizen speakers will be acknowledged in the order in which they signed up to speak and will address all comments to the Board as a whole and not one individual Commissioner. Speakers will address the Board from the speaker's podium at the front of the room and will begin their remarks by stating their true name and address. Discussions between speakers and members of the audience will not be allowed. A public hearing is not intended to require the Board to answer any impromptu questions. Speakers are expected to be civil in their language and presentation.

All comments from the speaker shall be directly related to the subject of the public hearing. Each speaker is allotted five (5) minutes to address the Board. A speaker is not permitted to share, reserve or relinquish any remaining time allocated to them to another speaker. Any written materials, petitions, photographs and/or other documents may be delivered to the Clerk to the Board. The County is not permitted to accept any external data storage devices (thumb drives, flash drives, memory cards or similar device). In accordance with the Board's adopted Rules of Procedure, Commissioners shall reserve responses, if any, for the Commissioner comment period on the agenda.

4. Lattimore Volunteer Fire Department Fire District

BOARD APPOINTMENTS

5. Oak Grove Volunteer Fire Department Relief Fund Board

Phyllis Nowlen, Clerk to the Board

CLOSED SESSION

6. Closed Session per North Carolina General Statute §143-318.11(a)(1) To prevent the disclosure of information that is privileged or confidential pursuant to the law of this State or of the United States, or not considered a public record within the meaning of Chapter 132 of the General Statutes.

Kevin Gordon, Chairman

ADJOURN

The next meeting of the Cleveland County Board of Commissioners will be held on Tuesday, July 8, 2025, at 6:00 p.m. in the Commissioners' Chambers.

COUNTY OF CLEVELAND, NORTH CAROLINA

AGENDA ITEM SUMMARY

Tax Collector's Monthly Report

Department: Tax Administration
Agenda Title: May 2025 Collection Report
Agenda Summary:
Proposed Action:

ATTACHMENTS:

File Name	Description
<input type="checkbox"/> Monthend_Real_May2025.pdf	Monthend_Real_May2025
<input type="checkbox"/> Monthend_Gap_May2025.pdf	Monthend_Gap_May2025
<input type="checkbox"/> StaffReport_Collections_2025.May.docx	Staff Report Collections_May2025
<input type="checkbox"/> Percentage_2024_2025.xls	Percentage_2024_2025_May

COMBINED -- REAL-PERSONAL & GAP BILLS
COUNTY GENERAL

<u>YEAR</u>	<u>TAXES COLLECTED</u>	<u>MONTH OF</u>	<u>MAY</u>
DEF REV	\$0.00		2025
2024	\$230,308.48		
2023	\$30,227.07		
2022	\$12,243.41		
2021	\$4,581.73		
2020	\$1,817.97		
2019	\$646.94		
2018	\$330.89		
2017	\$247.02		
2016	\$126.80		
2015	\$127.33		
2014	\$0.00		

ACCOUNT NOS.

SUB TOTAL	\$280,657.64	
DISCOUNT	(\$0.06)	
INTEREST	\$24,586.05	
ADVERTISING	\$1,100.57	
GARNISHMENT	\$9,574.31	
NSF	\$0.02	GAP BILLS
LEGAL FEES	\$3,926.63	\$3,001.11
TOLERANCE	(\$11.49)	
TOTAL	\$322,834.78	
misc fee	\$0.00	
	\$322,834.78	

<u>YEAR</u>	<u>TAXES COLLECTED THRU</u>		<u>LEVY</u>	<u>% COLLECTED</u>	<u>UNCOLLECTED</u>
	<u>05/31/25</u>				
2024	\$54,648,506.14	\$55,765,180.74	98.00%	\$1,116,674.60	
2023	\$55,564,858.77	\$56,169,943.19	98.92%	\$605,084.42	
2022	\$54,722,304.80	\$55,127,996.10	99.26%	\$405,691.30	
2021	\$53,194,617.04	\$53,337,797.31	99.73%	\$143,180.27	
2020	\$50,338,767.29	\$50,456,496.68	99.77%	\$117,729.39	
2019	\$49,404,625.86	\$49,603,707.14	99.60%	\$199,081.28	
2018	\$46,572,353.37	\$46,670,817.53	99.79%	\$98,464.16	
2017	\$44,124,931.81	\$44,180,546.12	99.87%	\$55,614.31	
2016	\$43,714,543.81	\$43,750,046.11	99.92%	\$35,502.30	
2015	\$42,987,125.15	\$43,028,640.14	99.90%	\$41,514.99	
2014	\$42,123,105.64	\$42,123,105.64	100.00%	\$0.00	

<u>2025 DEF REV COLL</u>	<u>TAX</u>	<u>LEVY</u>	<u>%COLLECTED</u>	<u>UNCOLLECTED</u>
TAX	\$5,379.33	\$26,802.34	\$119,309.44	22.46% \$92,507.10
DISC	(\$8.95)	\$5,795.65		
TOL	\$0.23	\$425.04	INT	

Respectfully,

 DENISE JONES - 
 Tax Collector

COMBINED -- REAL-PERSONAL & GAP BILLS
CLEVELAND COUNTY SOLID WASTE

<u>YEAR</u>	<u>FEES COLLECTED</u>	<u>MONTH OF</u>	<u>MAY</u>
DEF REV	\$0.00		2025
2024	\$19,173.71		
2023	\$4,532.45		
2022	\$1,333.17		
2021	\$451.13		
2020	\$91.04		
2019	\$22.18		
2018	\$69.44		
2017	\$1.34		ACCOUNT NOS.
2016	\$0.00		
2015	\$62.00		
2014	\$0.00		
SUB TOTAL	\$25,736.46		
DISCOUNT	\$0.00		
INTEREST	\$0.00		
TOLERANCE	\$0.00		
TOTAL	\$25,736.46		

<u>YEAR</u>	<u>FEES COLLECTED THRU</u>	<u>LEVY</u>	<u>% COLLECTED</u>	<u>UNCOLLECTED</u>
	<u>05/31/25</u>			
2024	\$2,137,241.79	\$2,265,910.47	94.32%	\$128,668.68
2023	\$2,188,135.43	\$2,262,771.03	96.70%	\$74,635.60
2022	\$2,199,438.32	\$2,236,035.91	98.36%	\$36,597.59
2021	\$2,170,757.66	\$2,198,569.94	98.73%	\$27,812.28
2020	\$2,010,865.42	\$2,029,075.19	99.10%	\$18,209.77
2019	\$2,010,981.43	\$2,027,291.73	99.20%	\$16,310.30
2018	\$1,896,964.03	\$1,910,737.56	99.28%	\$13,773.53
2017	\$1,906,154.11	\$1,924,768.70	99.03%	\$18,614.59
2016	\$1,714,197.91	\$1,728,486.93	99.17%	\$14,289.02
2015	\$1,734,447.71	\$1,744,431.30	99.43%	\$9,983.59
2014	\$1,748,496.01	\$1,748,496.01	100.00%	\$0.00

2025 DEF REV COLL	TAX	LEVY	%COLLECTED	UNCOLLECTED	
TAX	\$0.00	\$0.00	\$343.02	0.00%	\$343.02
DISC	\$0.00	\$0.00			
TOL	\$0.00	\$0.00	INT		

Respectfully,

 DENISE JONES - 
 Tax Collector

VENDOR 7990

COMBINED -- REAL-PERSONAL & GAP BILLS
CLEVELAND COUNTY SCHOOLS

<u>YEAR</u>	<u>TAXES COLLECTED</u>	<u>MONTH OF</u>	<u>MAY</u>
DEF REV	\$0.00		2025
2024	\$58,891.83		
2023	\$7,729.75		
2022	\$3,130.85		
2021	\$1,176.52		
2020	\$478.38		
2019	\$170.26		
2018	\$87.08		
2017	\$65.00		ACCOUNT NOS.
2016	\$33.37		020.600.5.524.00
2015	\$33.51		
2014	\$0.00		
SUB TOTAL	\$71,796.55		
DISCOUNT	(\$0.01)		
INTEREST	\$6,304.29		
TOLERANCE	(\$2.94)		
TOTAL	\$78,097.89		

<u>YEAR</u>	<u>TAXES COLLECTED THRU</u>	<u>LEVY</u>	<u>% COLLECTED</u>	<u>UNCOLLECTED</u>
	<u>05/31/25</u>			
2024	\$13,974,177.46	\$14,259,742.43	98.00%	\$285,564.97
2023	\$14,208,734.88	\$14,363,579.22	98.92%	\$154,844.34
2022	\$13,995,927.29	\$14,099,805.79	99.26%	\$103,878.50
2021	\$13,609,714.43	\$13,646,549.13	99.73%	\$36,834.70
2020	\$13,247,070.28	\$13,278,052.83	99.77%	\$30,982.55
2019	\$13,001,245.19	\$13,053,635.31	99.60%	\$52,390.12
2018	\$12,255,910.45	\$12,281,821.67	99.79%	\$25,911.22
2017	\$11,611,851.91	\$11,626,487.58	99.87%	\$14,635.67
2016	\$11,503,856.04	\$11,513,199.07	99.92%	\$9,343.03
2015	\$11,312,429.78	\$11,323,355.42	99.90%	\$10,925.64
2014	\$11,085,057.45	\$11,085,057.45	100.00%	\$0.00

<u>2025 DEF REV COLL</u>	<u>TAX</u>	<u>LEVY</u>	<u>%COLLECTED</u>	<u>UNCOLLECTED</u>
TAX \$1,378.54	\$6,857.66	\$30,521.89	22.47%	\$23,664.23
DISC (\$2.30)	\$1,485.02			
TOL \$0.06	\$108.72	INT		

Respectfully,
 DENISE JONES- *Denise Jones*
 Tax Collector

COMBINED -- REAL-PERSONAL & GAP BILLS
COUNTY FIRE

<u>YEAR</u>	<u>TAXES COLLECTED</u>	<u>MONTH OF</u>	<u>MAY</u>
DEF REV	\$0.00		2025
2024	\$18,344.73		
2023	\$2,281.77		
2022	\$1,421.84		
2021	\$496.05		
2020	\$103.32		
2019	\$79.88		
2018	\$35.91		
2017	\$21.36		
2016	\$6.02		
2015	\$9.75		
2014	\$0.00		
		ACCOUNT NOS.	
SUB TOTAL	\$22,800.63		
DISCOUNT	(\$0.01)		
INTEREST	\$2,197.54		
TOLERANCE	(\$1.16)		
TOTAL	\$24,997.00		

<u>YEAR</u>	<u>TAXES COLLECTED THRU</u>	<u>LEVY</u>	<u>% COLLECTED</u>	<u>UNCOLLECTED</u>
	05/31/25			
2024	\$3,513,189.75	\$3,604,373.19	97.47%	\$91,183.44
2023	\$3,585,974.23	\$3,629,150.17	98.81%	\$43,175.94
2022	\$3,518,308.28	\$3,543,790.85	99.28%	\$25,482.57
2021	\$3,478,761.46	\$3,490,065.03	99.68%	\$11,303.57
2020	\$3,011,754.21	\$3,019,305.06	99.75%	\$7,550.85
2019	\$2,920,311.08	\$2,925,260.23	99.83%	\$4,949.15
2018	\$2,891,223.70	\$2,895,049.82	99.87%	\$3,826.12
2017	\$2,826,986.14	\$2,830,145.83	99.89%	\$3,159.69
2016	\$1,469,839.87	\$1,471,194.68	99.91%	\$1,354.81
2015	\$1,456,878.62	\$1,458,160.82	99.91%	\$1,282.20
2014	\$1,449,184.43	\$1,449,184.43	100.00%	\$0.00

<u>2025 DEF REV COLL</u>	<u>TAX</u>	<u>LEVY</u>	<u>%COLLECTED</u>	<u>UNCOLLECTED</u>	
TAX	\$636.11	\$2,730.42	\$7,183.79	38.01%	\$4,453.37
DISC	(\$0.42)	\$703.65			
TOL	\$0.00	\$67.96	INT		

Respectfully,

 DENISE JONES - 
 Tax Collector

COMBINED -- REAL-PERSONAL & GAP BILLS

VENDOR

5110

FALLSTON FIRE

<u>YEAR</u>	<u>TAXES COLLECTED</u>	<u>MONTH OF</u>	<u>MAY</u>
DEF REV	\$0.00		2025
2024	\$0.00		
2023	\$0.00		
2022	\$0.00		
2021	\$0.00		
2020	\$0.00		
2019	\$0.00		
2018	\$0.00		
2017	\$0.00		ACCOUNT NOS.
2016	\$0.00		074.000.2.240.00
2015	\$0.00		
2014	\$0.00		
SUB TOTAL	\$0.00		
DISCOUNT	\$0.00		
INTEREST	\$0.00		
TOLERANCE	\$0.00		
TOTAL	\$0.00		

TAXES COLLECTED THRU				
<u>YEAR</u>	<u>05/31/25</u>	<u>LEVY</u>	<u>% COLLECTED</u>	<u>UNCOLLECTED</u>
2024	\$0.00	\$0.00	0.00%	\$0.00
2023	\$0.00	\$0.00	0.00%	\$0.00
2022	\$28.51	\$28.51	100.00%	\$0.00
2021	\$18.90	\$19.14	98.75%	\$0.24
2020	\$76.90	\$76.90	100.00%	\$0.00
2019	\$91.77	\$91.77	100.00%	\$0.00
2018	\$614.00	\$614.00	100.00%	\$0.00
2017	\$1,405.34	\$1,416.38	99.22%	\$11.04
2016	\$131,350.86	\$131,497.47	99.89%	\$146.61
2015	\$139,416.76	\$139,643.52	99.84%	\$226.76
2014	\$133,659.72	\$133,659.72	100.00%	\$0.00

2025 DEF REV COLL		TAX	LEVY	%COLLECTED	UNCOLLECTED
TAX	\$0.00	\$2.00	\$32.29	6.19%	\$30.29
DISC	\$0.00	\$0.00			
TOL	\$0.00	\$0.00	INT		

Respectfully,

DENISE JONES 

Tax Collector

COMBINED -- REAL-PERSONAL & GAP BILLS

VENDOR 7990

**LATTIMORE FIRE
#7 VFD**

<u>YEAR</u>	<u>TAXES COLLECTED</u>	<u>MONTH OF</u>	<u>MAY</u>
DEF REV	\$0.00		2025
2024	\$855.77		
2023	\$338.62		
2022	\$44.13		
2021	\$15.15		
2020	\$0.00		
2019	\$0.00		
2018	\$0.00		
2017	\$5.05		ACCOUNT NOS.
2016	\$0.00		075.000.2.240.00
2015	\$0.00		
2014	\$0.00		
SUB TOTAL	\$1,258.72		
DISCOUNT	\$0.00		
INTEREST	\$190.95		
TOLERANCE	(\$0.10)		
TOTAL	\$1,449.57		

<u>YEAR</u>	<u>TAXES COLLECTED THRU</u>		<u>LEVY</u>	<u>% COLLECTED</u>	<u>UNCOLLECTED</u>
	<u>05/31/25</u>				
2024	\$308,452.16	\$319,537.92	96.53%	\$11,085.76	
2023	\$316,087.63	\$321,410.54	98.34%	\$5,322.91	
2022	\$315,716.24	\$317,021.53	99.59%	\$1,305.29	
2021	\$302,335.07	\$303,067.18	99.76%	\$732.11	
2020	\$264,101.59	\$264,575.32	99.82%	\$473.73	
2019	\$263,947.72	\$264,361.86	99.84%	\$414.14	
2018	\$254,673.23	\$254,973.94	99.88%	\$300.71	
2017	\$245,660.18	\$245,874.41	99.91%	\$214.23	
2016	\$273,844.62	\$273,935.95	99.97%	\$91.33	
2015	\$264,995.69	\$265,052.11	99.98%	\$56.42	
2014	\$268,510.96	\$268,510.96	100.00%	\$0.00	

<u>2025 DEF REV COLL</u>	<u>TAX</u>	<u>LEVY</u>	<u>%COLLECTED</u>	<u>UNCOLLECTED</u>	
TAX	\$3.56	\$81.76	\$655.33	12.48%	\$573.57
DISC	\$0.00	\$3.56			
TOL	\$0.00	\$0.00	INT		

Respectfully,

DENISE JONES - *Denise Jones*
Tax Collector

COMBINED -- REAL-PERSONAL & GAP BILLS

VENDOR 11870

RIPPY FIRE

<u>YEAR</u>	<u>TAXES COLLECTED</u>	<u>MONTH OF</u>	<u>MAY</u>
DEF REV	\$0.00		2025
2024	\$2,928.66		
2023	\$451.13		
2022	\$63.27		
2021	\$21.97		
2020	\$0.00		
2019	\$0.00		
2018	\$0.00		
2017	\$0.00		
2016	\$0.00		ACCOUNT NOS.
2015	\$0.00		076.000.2.240.00
2014	\$0.00		

SUB TOTAL	\$3,465.03
DISCOUNT	\$0.00
INTEREST	\$263.52
TOLERANCE	(\$0.20)
TOTAL	\$3,728.35

YEAR	TAXES COLLECTED THRU		LEVY	% COLLECTED UNCOLLECTED	
	05/31/25				
2024	\$351,288.58		\$363,016.02	96.77%	\$11,727.44
2023	\$352,683.98		\$356,405.18	98.96%	\$3,721.20
2022	\$353,219.83		\$355,336.09	99.40%	\$2,116.26
2021	\$346,380.32		\$347,643.57	99.64%	\$1,263.25
2020	\$306,688.56		\$307,488.47	99.74%	\$799.91
2019	\$306,452.68		\$306,927.38	99.85%	\$474.70
2018	\$300,848.97		\$303,651.46	99.08%	\$2,802.49
2017	\$296,701.68		\$299,706.32	99.00%	\$3,004.64
2016	\$170,679.45		\$170,922.23	99.86%	\$242.78
2015	\$179,659.15		\$179,880.70	99.88%	\$221.55
2014	\$175,105.31		\$175,105.31	100.00%	\$0.00

<u>2025 DEF REV COLL</u>		<u>TAX</u>	<u>LEVY</u>	<u>%COLLECTED UNCOLLECTED</u>	
TAX	\$188.65	\$372.75	\$1,130.99	32.96%	\$758.24
DISC	(\$0.94)	\$187.71			
TOL	\$0.00	\$0.00	INT		

Respectfully,

DENISE JONES - 

Tax Collector

COMBINED -- REAL-PERSONAL & GAP BILLS

VENDOR 12560

CITY OF SHELBY

<u>YEAR</u>	<u>TAXES COLLECTED</u>	<u>MONTH OF</u>	<u>MAY</u>
DEF REV	\$0.00		2025
2024	\$58,281.34		
2023	\$5,961.52		
2022	\$1,167.81		
2021	\$918.98		
2020	\$502.04		
2019	\$94.28		
2018	\$88.90		
2017	\$65.47		ACCOUNT NOS.
2016	\$46.33		077.000.2.240.00
2015	\$12.35		010.413.4.540.00
2014	\$0.00		10.000.1.203.00
			WIRE TRANSFER
SUB TOTAL	\$67,139.02		
DISCOUNT	\$0.00		
INTEREST	\$4,766.73		
TOLERANCE	(\$1.16)		
TOTAL	\$71,904.59		
COLL FEE	(\$1,425.32)		
TOTAL	\$70,479.27		

TAXES COLLECTED THRU				
<u>YEAR</u>	<u>05/31/25</u>	<u>LEVY</u>	<u>% COLLECTED</u>	<u>UNCOLLECTED</u>
2024	\$13,807,126.56	\$14,065,391.88	98.16%	\$258,265.32
2023	\$13,253,848.39	\$13,471,462.70	98.38%	\$217,614.31
2022	\$13,201,381.24	\$13,385,557.26	98.62%	\$184,176.02
2021	\$13,026,214.41	\$13,066,197.53	99.69%	\$39,983.12
2020	\$12,423,537.82	\$12,469,239.56	99.63%	\$45,701.74
2019	\$11,840,047.10	\$11,982,631.65	98.81%	\$142,584.55
2018	\$10,096,915.99	\$10,142,393.38	99.55%	\$45,477.39
2017	\$9,633,119.29	\$9,641,497.18	99.91%	\$8,377.89
2016	\$8,326,984.50	\$8,335,812.65	99.89%	\$8,828.15
2015	\$7,735,472.52	\$7,748,513.77	99.83%	\$13,041.25
2014	\$7,528,023.33	\$7,528,023.33	100.00%	\$0.00

<u>2025 DEF REV COLL</u>	<u>TAX</u>	<u>LEVY</u>	<u>%COLLECTED</u>	<u>UNCOLLECTED</u>
TAX	\$143.54	\$4,016.15	8.40%	\$43,810.24
DISC	(\$0.22)	\$143.54		
TOL	\$0.22	\$0.00	INT	

Respectfully,

DENISE JONES *Denise Jones*

Tax Collector

COMBINED -- REAL-PERSONAL & GAP BILLS
TOWN OF BOILING SPRINGS

VENDOR 1411

<u>YEAR</u>	<u>TAXES COLLECTED</u>	<u>MONTH OF</u>	<u>MAY</u>
DEF REV	\$0.00		2025
2024	\$3,832.31		
2023	\$190.49		
2022	\$159.37		
2021	\$0.00		
2020	\$3.14		
2019	\$0.00		
2018	\$0.00		
2017	\$0.00		ACCOUNT NOS.
2016	\$0.00		078.000.2.240.00
2015	\$0.00		010.413.4.540.00
2014	\$0.00		
SUB TOTAL	\$4,185.31		
DISCOUNT	\$0.00		
INTEREST	\$229.19		
TOLERANCE	\$0.03		
TOTAL	\$4,414.53		
COLL FEE	(\$109.74)		
TOTAL	\$4,304.79		

TAXES COLLECTED THRU				
<u>YEAR</u>	<u>05/31/25</u>	<u>LEVY</u>	<u>% COLLECTED</u>	<u>UNCOLLECTED</u>
2024	\$1,170,983.58	\$1,189,578.53	98.44%	\$18,594.95
2023	\$1,119,473.23	\$1,124,086.73	99.59%	\$4,613.50
2022	\$1,077,451.38	\$1,080,139.53	99.75%	\$2,688.15
2021	\$1,079,163.26	\$1,080,849.84	99.84%	\$1,686.58
2020	\$997,069.54	\$998,103.21	99.90%	\$1,033.67
2019	\$996,741.15	\$997,021.08	99.97%	\$279.93
2018	\$950,962.60	\$951,146.36	99.98%	\$183.76
2017	\$919,210.24	\$919,458.25	99.97%	\$248.01
2016	\$822,247.50	\$822,394.90	99.98%	\$147.40
2015	\$807,907.09	\$808,449.91	99.93%	\$542.82
2014	\$790,367.76	\$790,367.76	100.00%	\$0.00

<u>2025 DEF REV COLL</u>	<u>TAX</u>	<u>LEVY</u>	<u>%COLLECTED</u>	<u>UNCOLLECTED</u>	
TAX	\$2.94	\$853.43	\$1,622.40	52.60%	\$768.97
DISC	\$0.00	\$2.94			
TOL	\$0.00	\$0.00	INT		

Respectfully,

DENISE JONES-

Tax Collector

Denise Jones

COMBINED -- REAL-PERSONAL & GAP BILLS

VENDOR 6230

TOWN OF GROVER

<u>YEAR</u>	<u>TAXES COLLECTED</u>	<u>MONTH OF</u>	<u>MAY</u>
DEF REV	\$0.00		2025
2024	\$435.72		
2023	\$238.60		
2022	\$299.93		
2021	\$133.81		
2020	\$0.00		
2019	\$0.00		
2018	\$0.00		
2017	\$0.00		
2016	\$0.00		ACCOUNT NOS.
2015	\$0.00		079.000.2.240.00
2014	\$0.00		010.413.4.540.00

SUB TOTAL	\$1,108.06
DISCOUNT	\$0.00
INTEREST	\$113.06
TOLERANCE	\$0.00
TOTAL	\$1,221.12
COLL FEE	(\$24.31)
TOTAL	\$1,196.81

<u>YEAR</u>	<u>TAXES COLLECTED THRU</u>		<u>LEVY</u>	<u>% COLLECTED</u>	<u>UNCOLLECTED</u>
	<u>05/31/25</u>				
2024	\$187,046.96	\$192,565.14	97.13%	\$5,518.18	
2023	\$184,039.96	\$185,501.07	99.21%	\$1,461.11	
2022	\$181,912.67	\$182,576.84	99.64%	\$664.17	
2021	\$181,849.48	\$182,346.17	99.73%	\$496.69	
2020	\$139,142.39	\$139,235.22	99.93%	\$92.83	
2019	\$135,566.03	\$135,566.03	100.00%	\$0.00	
2018	\$120,176.21	\$120,177.50	100.00%	\$1.29	
2017	\$117,927.31	\$117,935.42	99.99%	\$8.11	
2016	\$118,134.77	\$118,153.55	99.98%	\$18.78	
2015	\$121,096.35	\$121,125.85	99.98%	\$29.50	
2014	\$120,897.54	\$120,897.54	100.00%	\$0.00	

<u>2025 DEF REV COLL</u>	<u>TAX</u>	<u>LEVY</u>	<u>%COLLECTED</u>	<u>UNCOLLECTED</u>
TAX	\$0.00	\$42.00	\$158.58	26.49% \$116.58
DISC	\$0.00	\$0.00		
TOL	\$0.00	\$0.00	INT	

Respectfully,

DENISE JONES -

Tax Collector

Denise Jones

COMBINED -- REAL-PERSONAL & GAP BILLS
CITY OF KINGS MOUNTAIN

VENDOR 7770

<u>YEAR</u>	<u>TAXES COLLECTED</u>	<u>MONTH OF</u>	<u>MAY</u>
DEF REV	\$0.00		2025
2024	\$14,216.68		
2023	\$3,276.06		
2022	\$517.95		
2021	\$77.15		
2020	\$446.95		
2019	\$17.93		
2018	\$0.00		
2017	\$0.00		
2016	\$3.78		ACCOUNT NOS.
2015	\$0.00		080.000.2.240.00
2014	\$0.00		010.413.4.540.00
			10.000.1.203.00
			WIRE TRANSFER
SUB TOTAL	\$18,556.50		
DISCOUNT	\$0.00		
INTEREST	\$1,569.73		
TOLERANCE	(\$1.02)		
TOTAL	\$20,125.21		
COLL FEE	(\$397.75)		
TOTAL	\$19,727.46		

<u>TAXES COLLECTED THRU</u>				
<u>YEAR</u>	<u>05/31/25</u>	<u>LEVY</u>	<u>% COLLECTED</u>	<u>UNCOLLECTED</u>
2024	\$7,908,295.34	\$7,991,869.84	98.95%	\$83,574.50
2023	\$8,414,778.42	\$8,446,109.79	99.63%	\$31,331.37
2022	\$7,531,215.17	\$7,548,955.08	99.77%	\$17,739.91
2021	\$6,794,457.09	\$6,804,470.80	99.85%	\$10,013.71
2020	\$6,741,072.64	\$6,746,125.44	99.93%	\$5,052.80
2019	\$6,790,934.22	\$6,794,142.18	99.95%	\$3,207.96
2018	\$6,591,859.66	\$6,594,043.03	99.97%	\$2,183.37
2017	\$5,245,021.64	\$5,247,729.45	99.95%	\$2,707.81
2016	\$4,664,011.06	\$4,667,409.78	99.93%	\$3,398.72
2015	\$3,870,358.03	\$3,872,452.45	99.95%	\$2,094.42
2014	\$3,669,755.31	\$3,669,755.31	100.00%	\$0.00

<u>2025 DEF REV COLL</u>	<u>TAX</u>	<u>LEVY</u>	<u>%COLLECTED</u>	<u>UNCOLLECTED</u>
TAX	\$32.11	\$1,228.74	\$8,693.32	14.13% \$7,464.58
DISC	(\$0.16)	\$31.95		
TOL	\$0.00	\$0.00	INT	

Respectfully,

DENISE JONES - *Denise Jones*
Tax Collector

COMBINED -- REAL-PERSONAL & GAP BILLS
TOWN OF LATTIMORE

VENDOR 8010

<u>YEAR</u>	<u>TAXES COLLECTED</u>	<u>MONTH OF</u>	<u>MAY</u>
DEF REV	\$0.00		2025
2024	\$45.48		
2023	\$18.12		
2022	\$25.24		
2021	\$0.00		
2020	\$0.00		
2019	\$0.00		
2018	\$0.00		
2017	\$0.00		
2016	\$0.00		ACCOUNT NOS.
2015	\$0.00		081.000.2.240.00
2014	\$0.00		010.413.4.540.00
SUB TOTAL	\$88.84		
DISCOUNT	\$0.00		
INTEREST	\$38.62		
TOLERANCE	\$0.00		
TOTAL	\$127.46		
COLL FEE	(\$2.55)		
TOTAL	\$124.91		

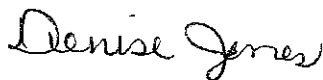
<u>TAXES COLLECTED THRU</u>				
<u>YEAR</u>	<u>05/31/25</u>	<u>LEVY</u>	<u>% COLLECTED</u>	<u>UNCOLLECTED</u>
2024	\$39,785.96	\$40,953.61	97.15%	\$1,167.65
2023	\$40,332.88	\$40,740.44	99.00%	\$407.56
2022	\$40,122.53	\$40,482.86	99.11%	\$360.33
2021	\$40,263.36	\$40,291.33	99.93%	\$27.97
2020	\$33,123.96	\$33,146.96	99.93%	\$23.00
2019	\$33,024.61	\$33,046.64	99.93%	\$22.03
2018	\$32,494.01	\$32,516.04	99.93%	\$22.03
2017	\$30,952.48	\$31,010.85	99.81%	\$58.37
2016	\$31,561.52	\$31,583.55	99.93%	\$22.03
2015	\$33,201.44	\$33,208.85	99.98%	\$7.41
2014	\$33,877.20	\$33,877.20	100.00%	\$0.00

<u>2025 DEF REV COLL</u>	<u>TAX</u>	<u>LEVY</u>	<u>%COLLECTED</u>	<u>UNCOLLECTED</u>
TAX	\$0.00	\$26.76	\$108.89	24.58% \$82.13
DISC	\$0.00	\$0.00		
TOL	\$0.00	\$0.00	INT	

Respectfully,

DENISE JONES

Tax Collector



VENDOR 14350 **COMBINED -- REAL-PERSONAL & GAP BILLS**
CLEVELAND CO. SANITARY DISTRICT
 CLEVELAND COUNTY WATER

<u>YEAR</u>	<u>TAXES COLLECTED</u>	<u>MONTH OF</u>	<u>MAY</u>
DEF REV	\$0.00		2025
2024	\$4,749.44		
2023	\$696.34		
2022	\$349.97		
2021	\$105.88		
2020	\$21.53		
2019	\$13.90		
2018	\$6.13		
2017	\$3.76		
2016	\$0.15		ACCOUNT NOS.
2015	\$0.00		082.000.2.240.00
2014	\$0.00		010.413.4.540.00

SUB TOTAL	\$5,947.10
DISCOUNT	\$0.00
INTEREST	\$569.97
TOLERANCE	(\$0.31)
TOTAL	\$6,516.76
COLL FEE	(\$129.40)
TOTAL	\$6,387.36

YEAR	TAXES COLLECTED THRU		LEVY	% COLLECTED	UNCOLLECTED
	05/31/25				
2024	\$986,867.39	\$1,012,014.51	97.52%	\$25,147.12	
2023	\$998,761.32	\$1,014,043.49	98.49%	\$15,282.17	
2022	\$980,313.28	\$991,776.86	98.84%	\$11,463.58	
2021	\$980,444.29	\$983,161.15	99.72%	\$2,716.86	
2020	\$870,034.01	\$871,712.38	99.81%	\$1,678.37	
2019	\$824,060.65	\$829,190.42	99.38%	\$5,129.77	
2018	\$753,309.51	\$755,936.78	99.65%	\$2,627.27	
2017	\$735,678.86	\$737,040.03	99.82%	\$1,361.17	
2016	\$732,031.21	\$732,677.52	99.91%	\$646.31	
2015	\$730,168.03	\$730,749.24	99.92%	\$581.21	
2014	\$715,428.25	\$715,428.25	100.00%	\$0.00	

2025 DEF REV COLL	TAX	LEVY	%COLLECTED	UNCOLLECTED
TAX	\$189.30	\$675.72	\$1,913.42	35.31% \$1,237.70
DISC	(\$0.29)	\$204.55		
TOL	\$0.00	\$15.54	INT	

Respectfully,
 DENISE JONES
 Tax Collector

Denise Jones

COMBINED -- REAL-PERSONAL & GAP BILLS

VENDOR 7865

TOWN OF KINGSTOWN

<u>YEAR</u>	<u>TAXES COLLECTED</u>	<u>MONTH OF</u>	<u>MAY</u>
DEF REV	\$0.00		2025
2024	\$1,455.79		
2023	\$42.86		
2022	\$26.03		
2021	\$145.50		
2020	\$0.00		
2019	\$0.00		
2018	\$0.00		
2017	\$0.00		
2016	\$0.00		ACCOUNT NOS.
2015	\$0.00		083.000.2.240.00
2014	\$0.00		010.413.4.540.00
			10.000.1.203.00
			WIRE TRANSFER

SUB TOTAL	\$1,670.18
DISCOUNT	\$0.00
INTEREST	\$193.48
TOLERANCE	(\$0.18)
TOTAL	\$1,863.48
COLL FEE	(\$36.98)
TOTAL	\$1,826.50

<u>YEAR</u>	<u>TAXES COLLECTED THRU</u>	<u>LEVY</u>	<u>% COLLECTED</u>	<u>UNCOLLECTED</u>
	05/31/25			
2024	\$84,184.59	\$96,119.92	87.58%	\$11,935.33
2023	\$89,784.73	\$94,572.88	94.94%	\$4,788.15
2022	\$88,371.91	\$91,695.65	96.38%	\$3,323.74
2021	\$88,419.40	\$90,047.35	98.19%	\$1,627.95
2020	\$72,528.09	\$73,048.48	99.29%	\$520.39
2019	\$71,521.51	\$71,761.54	99.67%	\$240.03
2018	\$71,351.65	\$71,430.30	99.89%	\$78.65
2017	\$51,848.85	\$51,928.14	99.85%	\$79.29
2016	\$52,107.12	\$52,117.89	99.98%	\$10.77
2015	\$67,606.44	\$67,620.03	99.98%	\$13.59
2014	\$68,224.58	\$68,224.58	100.00%	\$0.00

<u>2025 DEF REV COLL</u>	<u>TAX</u>	<u>LEVY</u>	<u>%COLLECTED</u>	<u>UNCOLLECTED</u>
TAX	\$4.44	\$71.92	\$583.69	12.32%
DISC	\$0.00	\$4.44		\$511.77
TOL	\$0.00	\$0.00	INT	

Respectfully,
DENISE JONES
Tax Collector

COMBINED -- REAL-PERSONAL & GAP BILLS

VENDOR 5120

TOWN OF FALLSTON

<u>YEAR</u>	<u>TAXES COLLECTED</u>	<u>MONTH OF</u>	<u>MAY</u>
DEF REV	\$0.00		2025
2024	\$239.22		
2023	\$3.32		
2022	\$0.00		
2021	\$34.77		
2020	\$0.00		
2019	\$0.00		
2018	\$0.00		
2017	\$0.00		
2016	\$0.00		ACCOUNT NOS.
2015	\$0.00		084.000.2.240.00
2014	\$0.00		010.413.4.540.00
SUB TOTAL	\$277.31		
DISCOUNT	\$0.00		
INTEREST	\$39.69		
TOLERANCE	\$0.00		
TOTAL	\$317.00		
COLL FEE	(\$6.34)		
TOTAL	\$310.66		

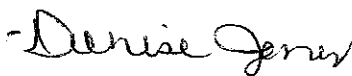
<u>YEAR</u>	<u>TAXES COLLECTED THRU</u>	<u>LEVY</u>	<u>% COLLECTED</u>	<u>UNCOLLECTED</u>
	05/31/25			
2024	\$22,773.25	\$23,464.62	97.05%	\$691.37
2023	\$24,082.39	\$24,345.15	98.92%	\$262.76
2022	\$23,857.33	\$24,090.26	99.03%	\$232.93
2021	\$22,563.14	\$22,720.39	99.31%	\$157.25
2020	\$18,809.67	\$19,094.91	98.51%	\$285.24
2019	\$18,862.67	\$18,880.39	99.91%	\$17.72
2018	\$18,928.63	\$18,932.85	99.98%	\$4.22
2017	\$18,502.85	\$18,509.14	99.97%	\$6.29
2016	\$18,528.21	\$18,533.75	99.97%	\$5.54
2015	\$20,213.87	\$20,316.31	99.50%	\$102.44
2014	\$18,704.76	\$18,704.76	100.00%	\$0.00

<u>2025 DEF REV COLL</u>	<u>TAX</u>	<u>LEVY</u>	<u>%COLLECTED</u>	<u>UNCOLLECTED</u>	
TAX	\$0.00	\$8.76	\$134.55	6.51%	\$125.79
DISC	\$0.00	\$0.00			
TOL	\$0.00	\$0.00	INT		

Respectfully,

DENISE JONES

Tax Collector



COMBINED -- REAL-PERSONAL & GAP BILLS

VENDOR 4640

TOWN OF EARL

<u>YEAR</u>	<u>TAXES COLLECTED</u>	<u>MONTH OF</u>	<u>MAY</u>
DEF REV	\$0.00		2025
2024	\$1.69		
2023	\$1.78		
2022	\$1.88		
2021	\$0.00		
2020	\$0.00		
2019	\$0.00		
2018	\$0.00		
2017	\$0.00		
2016	\$0.00		ACCOUNT NOS.
2015	\$0.00		085.000.2.240.00
2014	\$0.00		010.413.4.540.00

SUB TOTAL	\$5.35
DISCOUNT	\$0.00
INTEREST	\$1.17
TOLERANCE	\$0.00
TOTAL	\$6.52
COLL FEE	(\$0.13)
TOTAL	\$6.39

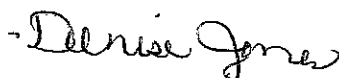
<u>YEAR</u>	<u>TAXES COLLECTED THRU</u>	<u>05/31/25</u>	<u>LEVY</u>	<u>% COLLECTED</u>	<u>UNCOLLECTED</u>
2024	\$21,211.90	\$22,189.70	95.59%	\$977.80	
2023	\$21,452.77	\$21,636.22	99.15%	\$183.45	
2022	\$20,282.18	\$20,420.23	99.32%	\$138.05	
2021	\$20,109.42	\$20,224.36	99.43%	\$114.94	
2020	\$17,015.71	\$17,073.79	99.66%	\$58.08	
2019	\$16,867.83	\$16,891.52	99.86%	\$23.69	
2018	\$16,514.25	\$16,537.94	99.86%	\$23.69	
2017	\$15,193.64	\$15,216.00	99.85%	\$22.36	
2016	\$14,769.23	\$14,780.51	99.92%	\$11.28	
2015	\$14,706.47	\$14,728.00	99.85%	\$21.53	
2014	\$14,932.18	\$14,932.18	100.00%	\$0.00	

<u>2025 DEF REV COLL</u>	<u>TAX</u>	<u>LEVY</u>	<u>%COLLECTED</u>	<u>UNCOLLECTED</u>
TAX	\$0.00	\$26.80	\$41.95	63.89%
DISC	\$0.00	\$0.00		\$15.15
TOL	\$0.00	\$0.00	INT	

Respectfully,

DENISE JONES

Tax Collector



COMBINED -- REAL-PERSONAL & GAP BILLS

VENDOR 11240

TOWN OF POLKVILLE

<u>YEAR</u>	<u>TAXES COLLECTED</u>	<u>MONTH OF</u>	<u>MAY</u>
DEF REV	\$0.00		2025
2024	\$2.97		
2023	\$0.42		
2022	\$0.00		
2021	\$0.00		
2020	\$0.00		
2019	\$0.00		
2018	\$0.00		
2017	\$0.00		
2016	\$0.00		ACCOUNT NOS.
2015	\$0.00		086.000.2.240.00
2014	\$0.00		010.413.4.540.00

SUB TOTAL	\$3.39
DISCOUNT	\$0.00
INTEREST	\$0.52
TOLERANCE	(\$0.03)
TOTAL	\$3.88
COLL FEE	(\$0.07)
TOTAL	\$3.81

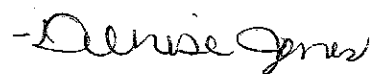
YEAR	TAXES COLLECTED THRU		LEVY	% COLLECTED	UNCOLLECTED
	05/31/25				
2024	\$25,354.98	\$25,946.96		97.72%	\$591.98
2023	\$15,860.49	\$15,911.10		99.68%	\$50.61
2022	\$15,637.32	\$15,666.66		99.81%	\$29.34
2021	\$15,404.19	\$15,421.05		99.89%	\$16.86
2020	\$12,605.54	\$12,635.27		99.76%	\$29.73
2019	\$12,477.28	\$12,479.74		99.98%	\$2.46
2018	\$12,299.76	\$12,302.07		99.98%	\$2.31
2017	\$12,049.94	\$12,052.25		99.98%	\$2.31
2016	\$11,806.76	\$11,813.19		99.95%	\$6.43
2015	\$12,055.19	\$12,061.74		99.95%	\$6.55
2014	\$11,598.09	\$11,598.09		100.00%	\$0.00

<u>2025 DEF REV COLL</u>	<u>TAX</u>	<u>LEVY</u>	<u>%COLLECTED</u>	<u>UNCOLLECTED</u>
TAX	\$0.00	\$17.20	\$66.91	25.71% \$49.71
DISC	\$0.00	\$0.00		
TOL	\$0.00	\$0.00	INT	

Respectfully,

DENISE JONES

Tax Collector



VENDOR 8060 **COMBINED -- REAL-PERSONAL & GAP BILLS**
TOWN OF LAWNSDALE

YEAR	TAXES COLLECTED	MONTH OF	MAY
DEF REV	\$0.00		2025
2024	\$5,670.80		
2023	\$458.37		
2022	\$114.87		
2021	\$1.10		
2020	\$0.00		
2019	\$0.00		
2018	\$0.00		
2017	\$0.00		
2016	\$0.00		ACCOUNT NOS.
2015	\$0.00		087.000.2.240.00
2014	\$0.00		010.413.4.540.00

SUB TOTAL	\$6,245.14
DISCOUNT	\$0.00
INTEREST	\$376.05
TOLERANCE	\$0.00
TOTAL	\$6,621.19
COLL FEE	(\$132.42)
TOTAL	\$6,488.77

YEAR	TAXES COLLECTED THRU	LEVY	% COLLECTED	UNCOLLECTED
	05/31/25			
2024	\$69,264.54	\$73,583.37	94.13%	\$4,318.83
2023	\$70,682.53	\$72,845.30	97.03%	\$2,162.77
2022	\$71,135.23	\$73,019.68	97.42%	\$1,884.45
2021	\$70,885.18	\$71,886.55	98.61%	\$1,001.37
2020	\$64,501.08	\$65,028.09	99.19%	\$527.01
2019	\$64,773.83	\$65,230.89	99.30%	\$457.06
2018	\$43,313.91	\$43,592.04	99.36%	\$278.13
2017	\$43,184.21	\$43,433.51	99.43%	\$249.30
2016	\$42,326.48	\$42,482.11	99.63%	\$155.63
2015	\$45,845.97	\$46,009.12	99.65%	\$163.15
2014	\$44,460.28	\$44,460.28	100.00%	\$0.00

2025 DEF REV COLL	TAX	LEVY	%COLLECTED	UNCOLLECTED
TAX	\$0.00	\$8.02	\$129.16	6.21% \$121.14
DISC	\$0.00	\$0.00		
TOL	\$0.00	\$0.00	INT	

Respectfully,
DENISE JONES - *Denise Jones*
Tax Collector

COMBINED -- REAL-PERSONAL & GAP BILLS

VENDOR 2330

TOWN OF CASAR

<u>YEAR</u>	<u>TAXES COLLECTED</u>	<u>MONTH OF</u>	<u>MAY</u>
DEF REV	\$0.00		2025
2024	\$145.26		
2023	\$2.87		
2022	\$0.00		
2021	\$0.00		
2020	\$0.00		
2019	\$0.00		
2018	\$0.00		
2017	\$0.00		
2016	\$0.00		ACCOUNT NOS.
2015	\$0.00		088.000.2.240.00
2014	\$0.00		010.413.4.540.00

SUB TOTAL	\$148.13
DISCOUNT	\$0.00
INTEREST	\$13.35
TOLERANCE	\$0.00
TOTAL	\$161.48
COLL FEE	(\$3.23)
TOTAL	\$158.25

<u>YEAR</u>	<u>TAXES COLLECTED THRU</u>	<u>LEVY</u>	<u>% COLLECTED</u>	<u>UNCOLLECTED</u>
	<u>05/31/25</u>			
2024	\$14,124.84	\$14,529.52	97.21%	\$404.68
2023	\$7,148.14	\$7,200.79	99.27%	\$52.65
2022	\$7,184.02	\$7,222.05	99.47%	\$38.03
2021	\$7,077.53	\$7,088.19	99.85%	\$10.66
2020	\$6,189.61	\$6,197.73	99.87%	\$8.12
2019	\$5,869.93	\$5,883.70	99.77%	\$13.77
2018	\$5,683.41	\$5,683.96	99.99%	\$0.55
2017	\$5,757.74	\$5,758.29	99.99%	\$0.55
2016	\$5,683.20	\$5,683.32	100.00%	\$0.12
2015	\$5,553.43	\$5,555.64	99.96%	\$2.21
2014	\$5,581.71	\$5,581.71	100.00%	\$0.00

<u>2025 DEF REV COLL</u>	<u>TAX</u>	<u>LEVY</u>	<u>%COLLECTED</u>	<u>UNCOLLECTED</u>	
TAX	\$0.00	\$4.92	\$26.78	18.37%	\$21.86
DISC	\$0.00	\$0.00			
TOL	\$0.00	\$0.00	INT		

Respectfully,

DENISE JONES - *Denise Jones*

Tax Collector

COMBINED -- REAL-PERSONAL & GAP BILLS

VENDOR 14630

TOWN OF WACO

<u>YEAR</u>	<u>TAXES COLLECTED</u>	<u>MONTH OF</u>	<u>MAY</u>
DEF REV	\$0.00		2025
2024	\$810.18		
2023	\$20.92		
2022	\$0.00		
2021	\$0.00		
2020	\$0.00		
2019	\$0.00		
2018	\$0.00		
2017	\$0.00		
2016	\$0.00		ACCOUNT NOS.
2015	\$0.00		089.000.2.240.00
2014	\$0.00		010.413.4.540.00

SUB TOTAL	\$831.10
DISCOUNT	\$0.00
INTEREST	\$35.13
TOLERANCE	\$0.00
TOTAL	\$866.23
COLL FEE	(\$17.32)
TOTAL	\$848.91

<u>YEAR</u>	<u>TAXES COLLECTED THRU</u>	<u>LEVY</u>	<u>% COLLECTED</u>	<u>UNCOLLECTED</u>
	05/31/25			
2024	\$34,140.72	\$36,612.28	93.25%	\$2,471.56
2023	\$33,043.93	\$34,243.82	96.50%	\$1,199.89
2022	\$33,847.42	\$33,984.88	99.60%	\$137.46
2021	\$32,431.20	\$32,571.53	99.57%	\$140.33
2020	\$25,752.08	\$25,802.46	99.80%	\$50.38
2019	\$25,471.62	\$25,517.05	99.82%	\$45.43
2018	\$24,714.76	\$24,761.93	99.81%	\$47.17
2017	\$24,774.25	\$24,832.06	99.77%	\$57.81
2016	\$24,291.47	\$24,371.21	99.67%	\$79.74
2015	\$23,857.19	\$23,953.46	99.60%	\$96.27
2014	\$28,910.85	\$28,910.85	100.00%	\$0.00

2025 DEF REV COLL	TAX	LEVY	%COLLECTED	UNCOLLECTED	
TAX	\$0.00	\$0.00	\$43.86	0.00%	\$43.86
DISC	\$0.00	\$0.00			
TOL	\$0.00	\$0.00	INT		

Respectfully,

DENISE JONES - *Denise Jones*
Tax Collector

VENDOR 10910 **COMBINED -- REAL-PERSONAL & GAP BILLS**
TOWN OF PATTERSON SPRINGS

YEAR	TAXES COLLECTED	MONTH OF	MAY
DEF REV	\$0.00		2025
2024	\$246.30		
2023	\$19.80		
2022	\$0.00		
2021	\$0.00		
2020	\$0.00		
2019	\$0.00		
2018	\$0.00		
2017	\$0.00		
2016	\$0.00		ACCOUNT NOS.
2015	\$0.00		091.000.2.240.00
2014	\$0.00		010.413.4.540.00
SUB TOTAL	\$266.10		
DISCOUNT	\$0.00		
INTEREST	\$17.74		
TOLERANCE	(\$0.06)		
TOTAL	\$283.78		
COLL FEE	(\$5.63)		
TOTAL	\$278.15		

YEAR	TAXES COLLECTED THRU	LEVY	% COLLECTED	UNCOLLECTED
	05/31/25			
2024	\$36,533.10	\$37,271.52	98.02%	\$738.42
2023	\$36,839.41	\$37,093.55	99.31%	\$254.14
2022	\$39,234.31	\$39,360.15	99.68%	\$125.84
2021	\$36,077.29	\$36,164.99	99.76%	\$87.70
2020	\$31,433.01	\$31,483.02	99.84%	\$50.01
2019	\$31,354.63	\$31,401.35	99.85%	\$46.72
2018	\$30,558.21	\$30,586.51	99.91%	\$28.30
2017	\$30,059.63	\$30,082.46	99.92%	\$22.83
2016	\$0.00	\$0.00	0.00%	\$0.00
2015	\$0.00	\$0.00	0.00%	\$0.00
2014	\$0.00	\$0.00	0.00%	\$0.00

2025 DEF REV COLL	TAX	LEVY	%COLLECTED	UNCOLLECTED	
TAX	\$314.19	\$314.19	\$364.47	86.20%	\$50.28
DISC	(\$1.57)	\$312.62			
TOL	\$0.00	\$0.00	INT		

Respectfully,

DENISE JONES - 
Tax Collector

COMBINED -- REAL-PERSONAL & GAP BILLS

VENDOR 1180

TOWN OF BELWOOD

<u>YEAR</u>	<u>TAXES COLLECTED</u>	<u>MONTH OF</u>	<u>MAY</u>
DEF REV	\$0.00		2025
2024	\$676.61		
2023	\$97.20		
2022	\$36.68		
2021	\$0.00		
2020	\$0.00		
2019	\$0.00		
2018	\$0.00		
2017	\$0.00		
2016	\$0.00		ACCOUNT NOS.
2015	\$0.00		092.000.2.240.00
2014	\$0.00		010.413.4.540.00

SUB TOTAL	\$810.49
DISCOUNT	\$0.00
INTEREST	\$58.48
TOLERANCE	\$0.00
TOTAL	\$868.97
COLL FEE	(\$17.33)
TOTAL	\$851.64

TAXES COLLECTED THRU				
YEAR	05/31/25	LEVY	% COLLECTED	UNCOLLECTED
2024	\$31,398.63	\$32,946.21	95.30%	\$1,547.58
2023	\$31,962.76	\$32,539.29	98.23%	\$576.53
2022	\$31,341.78	\$31,723.49	98.80%	\$381.71
2021	\$30,143.09	\$30,180.14	99.88%	\$37.05
2020	\$26,004.51	\$26,044.51	99.85%	\$40.00
2019	\$24,536.24	\$24,557.56	99.91%	\$21.32
2018	\$23,059.91	\$23,123.29	99.73%	\$63.38
2017	\$0.00	\$0.00	0.00%	\$0.00
2016	\$0.00	\$0.00	0.00%	\$0.00
2015	\$0.00	\$0.00	0.00%	\$0.00
2014	\$0.00	\$0.00	0.00%	\$0.00

<u>2025 DEF REV COLL</u>	<u>TAX</u>	<u>LEVY</u>	<u>%COLLECTED</u>	<u>UNCOLLECTED</u>
TAX	\$17.51	\$18.20	\$27.26	66.76% \$9.06
DISC	\$0.00	\$17.51		
TOL	\$0.00	\$0.00	INT	

Respectfully,

DENISE JONES

Tax Collector

Denise Jones

TOTAL TAXES COLLECTED MAY 2025

TOTAL TAXES COMBINED AMOUNT

DEF REV	\$0.00
2024	\$422,730.67
2023	\$56,589.46
2022	\$20,936.40
2021	\$8,159.74
2020	\$3,464.37
2019	\$1,045.37
2018	\$618.35
2017	\$409.00
2016	\$216.45
2015	\$244.94
2014	\$0.00

TOTALS	\$514,414.75	
DISCOUNT	(\$0.08)	
INTEREST	\$41,636.64	
TOLERANCE	(\$18.62)	
ADVERTISING	\$1,100.57	
GARNISHMENT	\$9,574.31	GAP FEES
NSF	\$0.02	\$3,001.11
LEGAL FEES	\$3,926.63	
TOTALS	\$573,635.33	
MISC FEE	\$0.00	
TAXES COLL	\$572,146.25	
DEF	\$8,290.22	\$8,893.14
DISC	(\$14.85)	\$581,039.39
TOL	\$0.51	
INT	\$617.26	

TOTAL TAXES UNCOLLECTED MAY 2025

2024	\$2,061,882.07
2023	\$1,167,025.38
2022	\$798,455.22
2021	\$279,245.46
2020	\$230,897.57
2019	\$425,712.13
2018	\$196,099.74
2017	\$108,456.27
2016	\$74,300.78
2015	\$80,913.50
2014	\$0.00

\$5,422,988.12

DEF REV \$176,788.93

TOTAL UNCOLLECTED \$5,599,777.05

GAP BILLS TOTAL TAXES COLLECTED MAY 2025

DEF REV	\$0.00
2024	\$8,999.06
2023	\$2,935.70
2022	\$1,570.70
2021	\$1,145.89
2020	\$251.19
2019	\$0.00
2018	\$0.00
2017	\$0.00
2016	\$0.00
2015	\$0.00
2014	\$0.00

TOTAL	\$14,902.54
FEES	\$3,001.11
INTEREST	\$1,933.22
TOLERANCE	(\$8.66)
TOTAL	\$19,828.21

DEF REV	\$911.01	Total Tolerance
TOLERANCE	\$0.00	(\$8.66)
INTEREST	\$0.00	
TOTAL DEF	\$911.01	
GRAND TOTAL	\$20,739.22	

TOTAL TAXES UNCOLLECTED MAY 2025

2024	\$267,323.45
2023	\$92,575.83
2022	\$73,276.14
2021	\$47,476.07
2020	\$29,543.83
2019	\$0.00
2018	\$0.00
2017	\$0.00
2016	\$0.00
2015	\$0.00
2014	\$0.00

TOTAL \$510,195.32

DEF REV	\$87,496.96
TOTAL	\$597,692.28

STAFF REPORT

To: Board of County Commissioners

Date: Wednesday, June 4, 2025

Via: David Cotton, County Manager

From: Denise Jones, Tax Collector

Subject: Tax Collector's Monthly Report

Summary Statement:

- Attached is the Tax Collector's Settlement for the month of May 2025. The percentage of collections for May is 98.27%. That is above last month and above last year at this time.

Review:

- Pursuant to N.C.G.S. 105-350.7, stating a duty of the tax collector shall be to submit to the governing body at each of its regular meetings a report of the amount she has collected on each year's taxes with which she is charged, the amount remaining uncollected, and the steps she is taking to encourage or enforce payment of uncollected taxes, attached is the settlement accounting for the disposition of current and delinquent taxes for the month of May 2025.

Attachment:

- (1) May Real Estate Collections
- (2) May Gap Collections
- (3) May Percentage

Percentage	Real Property				
Revenue	Unit: 010				
	2024-2025	2023-2024	2022-2023	2021-2022	2020-2021
July	1.04%	0.64%	1.22%	1.90%	2.29%
August	50.45%	53.68%	58.88%	52.70%	51.81%
September	50.87%	51.74%	57.08%	57.95%	56.63%
October	53.44%	54.15%	59.60%	60.75%	59.44%
November	55.56%	56.85%	62.43%	63.75%	57.87%
December	71.47%	75.34%	76.89%	76.38%	77.04%
January	93.88%	94.37%	94.21%	94.36%	94.54%
February	96.36%	96.38%	96.45%	96.34%	96.46%
March	97.08%	97.28%	97.36%	97.64%	97.66%
April	97.86%	97.73%	97.67%	98.13%	98.10%
May	98.27%	98.06%	97.98%	98.33%	98.30%
June		98.23%	98.22%	98.58%	98.57%

Percentage	Real Property
Revenue	Unit: 010
2024-2025	
2023-2024	98.23%
2022-2023	98.22%
2021-2022	98.58%
2020-2021	98.57%
2019-2020	97.77%
2018-2019	98.43%
2017-2018	98.28%
2016-2017	98.42%
2015-2016	98.23%
2014-2015	98.11%
2013-2014	97.86%
2012-2013	97.94%
2011-2012	97.80%
2010-2011	97.26%
2009-2010	97.04%
2008-2009	96.42%
2007-2008	96.63%
2006-2007	96.85%
2005-2006	96.78%
2004-2005	96.17%

2003-2004	96.10%
2002-2003	95.92%
2001-2002	96.11%

Percentage	Real Property									
Revenue	Unit: 010									
	2024-2025	2023-2024	2022-2023	2021-2022	2020-2021	2019-2020	2018-2019	2017-2018	2016-2017	2015-2016
July		0.64%	1.22%	1.90%	2.29%	1.77%	4.45%	3.79%	2.32%	6.34%
August		53.68%	58.88%	52.70%	51.81%	48.74%	55.65%	55.63%	55.60%	53.72%
September		51.74%	57.08%	57.95%	56.63%	59.56%	57.88%	58.57%	57.37%	54.98%
October		54.15%	59.60%	60.75%	59.44%	57.29%	56.00%	56.43%	54.98%	53.36%
November		56.85%	62.43%	63.75%	57.87%	59.09%	58.95%	59.42%	58.00%	56.28%
December		75.34%	76.89%	76.38%	77.04%	75.56%	72.10%	72.67%	73.13%	81.61%
January		94.37%	94.21%	94.36%	94.54%	93.94%	93.34%	93.74%	93.07%	92.44%
February		96.38%	96.45%	96.34%	96.46%	95.84%	95.68%	95.94%	95.48%	95.12%
March		97.28%	97.36%	97.64%	97.66%	96.80%	97.04%	97.03%	96.96%	96.46%
April		97.73%	97.67%	98.13%	98.10%	97.10%	97.72%	97.60%	97.58%	97.22%
May		98.06%	97.98%	98.33%	98.30%	97.48%	98.14%	97.98%	98.20%	97.80%
June		98.23%	98.00%	98.58%	98.57%	97.77%	98.43%	98.28%	98.42%	98.23%

2014-2015	2013-2014	2012-2013
2.44%	4.09%	3.16%
52.99%	42.70%	50.98%
56.15%	58.30%	53.44%
54.84%	58.50%	52.71%
57.45%	59.00%	56.65%
76.24%	75.09%	72.97%
92.27%	91.93%	91.32%
94.81%	94.19%	93.86%
96.38%	96.14%	95.82%
97.25%	96.87%	96.88%
97.78%	97.44%	97.49%
98.11%	97.86%	97.94%

Percentages

Revenue Unit: 010

Real

2013-2014 2012-2013

July	4.09%	3.16%
August	42.70%	50.98%
September	58.30%	53.44%
October	58.50%	52.71%
November	59.00%	56.65%
December	75.09%	72.97%
January	91.93%	91.32%
February	94.19%	93.86%
March	96.14%	95.82%
April	96.87%	96.88%
May	97.44%	97.49%
June	97.86%	97.94%

County General Tax
Vehicles

	2013-2014	2012-2013
July	49.45%	49.87%
August	54.92%	55.52%
September	58.73%	57.99%
October	63.48%	62.62%
November	64.67%	65.10%
December	72.25%	69.19%
January	76.36%	73.31%
February	80.14%	77.06%
March	84.52%	79.61%
April	88.04%	80.58%
May	90.49%	82.33%
June	91.90%	86.09%

Percentages

	Revenue	Unit: 010	County General Vehicles
Real	2013	2012	
January	91.32%	90.12%	January
February	93.86%	93.31%	February
March	95.82%	95.61%	March
April	96.88%	96.72%	April
May	97.49%	97.43%	May
June	97.94%	97.80%	June

ral Tax

2013	2012
73.31%	73.18%
77.06%	77.90%
79.61%	80.49%
80.58%	80.26%
82.33%	81.67%
86.09%	86.14%

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COUNTY OF CLEVELAND, NORTH CAROLINA

AGENDA ITEM SUMMARY

May 2025 Abatements and Supplements

Department: Tax Administration

Agenda Title: May 2025 Abatements and Supplements

Agenda Summary:

Proposed Action:

ATTACHMENTS:

File Name	Description
<input type="checkbox"/> abate_supp_report_may_2025.pdf	May 2025 Abate & Suppl

ABATEMENTS & SUPPLEMENTS

MONTH OF MAY 2024-2025

DISTRICT	FUND		2025	2024	2023
<u>COUNTY GENERAL</u>	<u>10</u>	ABATEMENTS		(698.75)	(723.48)
		SUPPLEMENTS	8,763.93		
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
<u>CONSOLIDATED SCHOOL</u>	<u>20</u>	ABATEMENTS		(178.68)	(184.99)
		SUPPLEMENTS	2,246.61		
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
<u>COUNTY FIRE</u>	<u>28</u>	ABATEMENTS		(92.30)	(113.50)
		SUPPLEMENTS	585.60		
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
<u>COUNTY SCHOOLS</u>	<u>71</u>	ABATEMENTS			
		SUPPLEMENTS			
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
<u>SHELBY SCHOOLS</u>	<u>72</u>	ABATEMENTS			
		SUPPLEMENTS			
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
<u>KINGS MTN SCHOOLS</u>	<u>73</u>	ABATEMENTS			
		SUPPLEMENTS			

		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
<u>FALLSTON FIRE</u>	<u>74</u>	ABATEMENTS			
		SUPPLEMENTS			
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
<u>LATTIMORE FIRE</u>	<u>75</u>	ABATEMENTS		(0.97)	
		SUPPLEMENTS			
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
<u>RIPPY FIRE</u>	<u>76</u>	ABATEMENTS			
		SUPPLEMENTS	112.34		
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
TOTAL ABATEMENTS	10-76		0.00	(970.70)	(1,021.97)
TOTAL SUPPLEMENTS	10-76		11,708.48	0.00	0.00
TOTAL HB ABATEMENTS	10-76		0.00	0.00	0.00
TOTAL HB SUPPLEMENTS	10-76		0.00	0.00	0.00
TOTAL GAP ABATEMENTS	10-76		0.00	0.00	0.00
TOTAL GAP SUPPLEMENTS	10-76		0.00	0.00	0.00
<u>CITY OF SHELBY</u>	<u>77</u>	ABATEMENTS		(13.67)	(12.53)
		SUPPLEMENTS	1,443.91		
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
TOTAL ABATEMENTS	77		0.00	(13.67)	(12.53)
TOTAL SUPPLEMENTS	77		1,443.91	0.00	0.00

<u>TOWN OF BOILING SPRGS</u>	<u>78</u>	ABATEMENTS		(67.30)	
		SUPPLEMENTS			
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
TOTAL ABATEMENTS	78		0.00	(67.30)	0.00
TOTAL SUPPLEMENTS	78		0.00	0.00	0.00
<u>TOWN OF GROVER</u>	<u>79</u>	ABATEMENTS			
		SUPPLEMENTS			
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
TOTAL ABATEMENTS	79		0.00	0.00	0.00
TOTAL SUPPLEMENTS	79		0.00	0.00	0.00
<u>CITY OF KINGS MOUNTAIN</u>	<u>80</u>	ABATEMENTS		(7.55)	
		SUPPLEMENTS	2,436.59		
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
TOTAL ABATEMENTS	80		0.00	(7.55)	0.00
TOTAL SUPPLEMENTS	80		2,436.59	0.00	0.00
<u>TOWN OF LATTIMORE</u>	<u>81</u>	ABATEMENTS			
		SUPPLEMENTS			
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
TOTAL ABATEMENTS	81		0.00	0.00	0.00
TOTAL SUPPLEMENTS	81		0.00	0.00	0.00
<u>UPPER CLEVE WATER DIST</u>	<u>82</u>	ABATEMENTS		(16.43)	(17.31)
		SUPPLEMENTS	159.51		
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			

TOTAL ABATEMENTS	82		0.00	(16.43)	(17.31)
TOTAL SUPPLEMENTS	82		159.51	0.00	0.00
<u>TOWN OF KINGSTOWN</u>	<u>83</u>	ABATEMENTS			
		SUPPLEMENTS			
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
TOTAL ABATEMENTS	83		0.00	0.00	0.00
TOTAL SUPPLEMENTS	83		0.00	0.00	0.00
<u>TOWN OF FALLSTON</u>	<u>84</u>	ABATEMENTS		(1.17)	
		SUPPLEMENTS			
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
TOTAL ABATEMENTS	84		0.00	(1.17)	0.00
TOTAL SUPPLEMENTS	84		0.00	0.00	0.00
<u>TOWN OF EARL</u>	<u>85</u>	ABATEMENTS			
		SUPPLEMENTS			
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
TOTAL ABATEMENTS	85		0.00	0.00	0.00
TOTAL SUPPLEMENTS	85		0.00	0.00	0.00
<u>TOWN OF POLKVILLE</u>	<u>86</u>	ABATEMENTS			
		SUPPLEMENTS			
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
TOTAL ABATEMENTS	86		0.00	0.00	0.00
TOTAL SUPPLEMENTS	86		0.00	0.00	0.00
<u>TOWN OF LAWNSDALE</u>	<u>87</u>	ABATEMENTS			
		SUPPLEMENTS			
		HB ABATEMENTS			

		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
TOTAL ABATEMENTS	87		0.00	0.00	0.00
TOTAL SUPPLEMENTS	87		0.00	0.00	0.00
<u>TOWN OF CASAR</u>	<u>88</u>	ABATEMENTS			
		SUPPLEMENTS			
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
TOTAL ABATEMENTS	88		0.00	0.00	0.00
TOTAL SUPPLEMENTS	88		0.00	0.00	0.00
<u>TOWN OF WACO</u>	<u>89</u>	ABATEMENTS			
		SUPPLEMENTS			
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
TOTAL ABATEMENTS	89		0.00	0.00	0.00
TOTAL SUPPLEMENTS	89		0.00	0.00	0.00
<u>TOWN OF PATTERSON SPRGS</u>	<u>91</u>	ABATEMENTS			
		SUPPLEMENTS			
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
TOTAL ABATEMENTS	91		0.00	0.00	0.00
TOTAL SUPPLEMENTS	91		0.00	0.00	0.00
TOWN OF BELWOOD	92	ABATEMENTS			
		SUPPLEMENTS	6.70		
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
TOTAL ABATEMENTS	92		0.00	0.00	0.00
TOTAL SUPPLEMENTS	92		6.70	0.00	0.00

<u>S/W COLLECTIONS</u>	<u>54</u>	ABATEMENTS		(80.37)	(80.37)
		SUPPLEMENTS			
		HB ABATEMENTS			
		HB SUPPLEMENTS			
		GAP ABATEMENTS			
		GAP SUPPLEMENTS			
TOTAL ABATEMENTS	54		0.00	(80.37)	(80.37)
TOTAL SUPPLEMENTS	54		0.00	0.00	0.00
TOTAL REG ABATEMENTS	10-92		0.00	(1,157.19)	(1,132.18)
TOTAL REG SUPPLEMENTS	10-92		15,755.19	0.00	0.00
TOTAL HB ABATEMENTS	10-92		0.00	0.00	0.00
TOTAL HB SUPPLEMENTS	10-92		0.00	0.00	0.00
TOTAL GAP ABATEMENTS	10-92		0.00	0.00	0.00
TOTAL GAP SUPPLEMENTS	10-92		0.00	0.00	0.00
PAGE TOTALS	10-92	ABATEMENTS	0.00	(1,157.19)	(1,132.18)
PAGE TOTALS	10-92	SUPPLEMENTS	15,755.19	0.00	0.00
MONTHLY GRAND TOTAL		ABATEMENTS	(3,903.35)		
MONTHLY GRAND TOTAL		SUPPLEMENTS	15,755.19		

SHERRY LAVENDER
TAX ASSESSOR

PROPERTY AND HB20

[illegible]

(833.81)	(480.59)	0.00	(19.80)	(19.80)	(19.80)	(13.46)	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

[illegible]

(12.38)	(12.40)	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
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0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

(80.37)	(78.03)							
(80.37)	(78.03)	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
(926.56)	(571.02)	0.00	(31.63)	(31.63)	(31.63)	(21.51)	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
(926.56)	(571.02)	0.00	(31.63)	(31.63)	(31.63)	(21.51)	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

COUNTY OF CLEVELAND, NORTH CAROLINA

AGENDA ITEM SUMMARY

Pending Refunds and Releases

Department: Tax Administration
Agenda Title: Pending Refunds and Releases
Agenda Summary:
Proposed Action:

ATTACHMENTS:

	File Name	Description
<input type="checkbox"/>	Pending_Refunds_and_Releases_06-17-25.pdf	Pending Refunds

STAFF REPORT

To: County Commissioners Meeting Date: June 17, 2025
Via: David Cotton, County Manager
From: Sherry Lavender, Tax Administrator
Subject: Request for refund

Summary Statement: Approve or Deny Release or Refund Request

Review: Per N.C.G.S. 105-381 any taxpayer asserting a valid defense to the enforcement of the collection of a tax assessed upon his property shall proceed as provided.

A valid defense shall include the following: 1) A tax imposed through a clerical error; 2) An illegal tax; 3) A tax levied for an illegal purpose. If a tax has been paid, the taxpayer, at any time within five years after said tax first became due or within six months from the date of payment of such tax, whichever is the later date, may make a request for a refund of the tax paid by submitting to the governing body of the taxing unit a written statement of his defense and a request for refund.

This matter is submitted for consideration as a Consent Agenda item at the County Commissioner's Board meeting scheduled for June 17, 2025.

Fiscal Impact: Estimated \$ \$110.74

Recommendation: Approve refund request. Taxpayer has sent written request for a refund of taxes due to a clerical error and Assessor has verified it with tax records.

Attachment:

- (1) Pending refund form
- (2) Written request of owner

PENDING REFUNDS / RELEASES (RECOMMENDED FOR APPROVAL)

June 17, 2025

The following requests have been reviewed by the County Assessor and found to be in order. They are hereby submitted for approval by the Cleveland County Board of Commissioners per G.S. 105-381. Supporting documentation is on file in the County Assessor's Office.

NAME	YEAR	RECEIPT	REASON	ORIGINAL ASSESSED VALUE	ORIGINAL TAX PAID	REQUESTED RELEASE/REFUND VALUE	DISTRICT	EFF TAX RATE	RELEASE	REFUND
Sandra Peterson	2023	4972771	Clerical Error - trash fee	\$ 138,319	\$1,174.11		63	0.7950		\$55.37
Sandra Peterson	2024	5068338	Clerical Error - trash fee	\$ 138,319	\$1,174.11		63	0.7950		\$55.37
								Total	\$0.00	\$110.74

PENDING REFUNDS / RELEASES (RECOMMENDED FOR DENIAL)

The following requests have been reviewed by the County Assessor. The stated request does not constitute a valid defense to the release or refund of the tax imposed or any part thereof, as provided in G.S. 105-381. Supporting documentation is on file in the County Assessor's Office.

NAME	YEAR	RECEIPT	REASON	ORIGINAL ASSESSED VALUE	ORIGINAL TAX PAID	REQUESTED RELEASE/REFUND VALUE	DISTRICT	EFF TAX RATE	RELEASE	REFUND
								TOTA	\$0.00	\$0.00

COUNTY OF CLEVELAND, NORTH CAROLINA

AGENDA ITEM SUMMARY

Late Applications for Exemption / Exclusion / Deferral

Department: Tax Administration

Agenda Title: Late Applications for Exemption / Exclusion / Deferral

Agenda Summary:

Proposed Action:

ATTACHMENTS:

File Name	Description
<input type="checkbox"/> Late_Applications_06-17-25.pdf	Late Applications

STAFF REPORT

To: County Commissioners Meeting Date: June 17, 2025
Via: David Cotton, County Manager
From: Sherry Lavender, Tax Administrator
Subject: Late Applications for Exemption / Exclusion / Deferral

Summary Statement: Approve or deny late applications.

Review: Per N.C.G.S. 105-282.1 every owner of property claiming exemption or exclusion from property taxes under the provisions of this Subchapter has the burden of establishing that the property is entitled to it.

Upon a showing of good cause by the applicant for failure to make a timely application, an application for exemption or exclusion filed after the statutory deadlines may be approved by the Department of Revenue, the board of equalization and review, the board of county commissioners, or the governing body of a municipality, as appropriate.

This matter is submitted for consideration as a Consent Agenda item at the County Commissioner's Board meeting scheduled for June 17, 2025.

Fiscal Impact: Estimated \$ 4,692.72

Recommendation: Approve application. Property qualifies for the exemption, exclusion, or deferment requested other than being untimely filed with the Assessor's Office.

Attachment:
(1) Roster of Applicants



Late Applications for Exemption, Exclusion or Deferment					6/17/2025
				Estimated Value to be Exempt/Deferred	Estimated Fiscal Impact (County Tax Only)
Owner Name	Parcel/Account	Physical Location	Type		
Davidson Alumni Resource Center	9510	Carpet Ln	Charitable Exemption	\$ 364,964	\$ 1,998.18
Charles & Sherry Connor	12979	York Rd	Present Use Deferred	\$ 308,742	\$ 1,690.36
Circle J Farms LLC	72839	2743 Ruppe Rd	Present Use Deferred	\$ 44,072	\$ 241.29
Circle J Farms LLC	234	Wood Rd	Present Use Deferred	\$ 139,339	\$ 762.88
					\$ -
					\$ -
					\$ -
Staff Recommendation:		Approve applications. All properties qualify for the exclusion or exemption requested other than the late submission of the application.			
			Total	\$ 857,117	\$ 4,692.72

COUNTY OF CLEVELAND, NORTH CAROLINA

AGENDA ITEM SUMMARY

Budget Transfer Summary

Department: Finance Department
Agenda Title: Budget Transfer Summary
Agenda Summary:
Proposed Action:

ATTACHMENTS:

File Name	Description
<input type="checkbox"/> 06.06.2025_Budget_Transfer_Summary.pdf	Budget Transfer Summary

County of Cleveland, North Carolina
Manager's Budget Summary
Presented at the June 17th, 2025 Board Meeting
Time Period Covered : 05/23/2025 to 06/06/2025
For Fiscal Year Ending June 30, 2025

BUD #	DATE SUBMITTED BY DEPT	Fund #	DEPT #	DEPT NAME	EXPLANATION	Account Description	BUDGET AMOUNT
2251	5/30/2025	012	530	Health Administration	Transfer Funds To Cover Gate Purchase For Medical	Controlled Property	\$ 1,172.00
2251	5/30/2025	012	530	Health Administration	Transfer Funds To Cover Gate Purchase For Medical	Travel/Training	\$ (1,172.00)
2252	5/30/2025	010	421	Information Technology	County Network Infrastructure Hardware Purchase For Replacement Of End Of Life Hardware.	Controlled Property Exp	\$ 4,100.00
2252	5/30/2025	010	421	Information Technology	County Network Infrastructure Hardware Purchase For Replacement Of End Of Life Hardware.	Departmental Supply	\$ (4,100.00)
2253	6/4/2025	010	998	Contingency	Btl Contingency Funds To Pay For Belwood Playground Rebuild Request	Emerg & Contingency	\$ (62,000.00)
2253	6/4/2025	010	410	General Revenues	Btl Contingency Funds To Pay For Belwood Playground Rebuild Request	Outside Agency Request-Towns	\$ 62,000.00
2254	6/4/2025	010	449	Electronic Maintenance	Btd 2254 Move Funds From Capital To Controlled For Radios As Each Was Less Than 5K Per Unit...	Controlled Property Exp	\$ 103,500.00
2254	6/4/2025	010	449	Electronic Maintenance	Btd 2254 Move Funds From Capital To Controlled For	Capital Equipment	\$ (103,500.00)
2255	6/4/2025	010	419	Register Of Deeds	Btd 2255 Correction To Rod Mass Transfer-Wrong	Dental Insurance	\$ 50.00
2255	6/4/2025	010	419	Register Of Deeds	Btd 2255 Correction To Rod Mass Transfer-Wrong Accounts Used On Mass Transfer	Employer 401K	\$ (50.00)
2255	6/4/2025	010	419	Register Of Deeds	Btd 2255 Correction To Rod Mass Transfer-Wrong Accounts Used On Mass Transfer	Departmental Supply	\$ (3,100.00)
2255	6/4/2025	010	419	Register Of Deeds	Btd 2255 Correction To Rod Mass Transfer-Wrong Accounts Used On Mass Transfer	Repairs On Equipment	\$ (1,000.00)
2255	6/4/2025	010	419	Register Of Deeds	Btd 2255 Correction To Rod Mass Transfer-Wrong Accounts Used On Mass Transfer	Maint Contracts-Equip	\$ (500.00)
2255	6/4/2025	010	419	Register Of Deeds	Btd 2255 Correction To Rod Mass Transfer-Wrong Accounts Used On Mass Transfer	Professional Serv	\$ (100.00)
2255	6/4/2025	010	419	Register Of Deeds	Btd 2255 Correction To Rod Mass Transfer-Wrong Accounts Used On Mass Transfer	Refunds	\$ 4,700.00
2255	6/4/2025	010	419	Register Of Deeds	Btd 2255 Correction To Rod Mass Transfer-Wrong Accounts Used On Mass Transfer	Hospital Insurance	\$ (50.00)
2255	6/4/2025	010	419	Register Of Deeds	Btd 2255 Correction To Rod Mass Transfer-Wrong Accounts Used On Mass Transfer	Dental Insurance	\$ 50.00
2255	6/4/2025	010	419	Register Of Deeds	Btd 2255 Correction To Rod Mass Transfer-Wrong Accounts Used On Mass Transfer	Reg Deed Sup Pension	\$ 3,100.00
2255	6/4/2025	010	419	Register Of Deeds	Btd 2255 Correction To Rod Mass Transfer-Wrong Accounts Used On Mass Transfer	Postage	\$ 1,000.00
2255	6/4/2025	010	419	Register Of Deeds	Btd 2255 Correction To Rod Mass Transfer-Wrong Accounts Used On Mass Transfer	Contracted Services	\$ 500.00
2255	6/4/2025	010	419	Register Of Deeds	Btd 2255 Correction To Rod Mass Transfer-Wrong Accounts Used On Mass Transfer	License/Permit/Certific	\$ 100.00
2255	6/4/2025	010	419	Register Of Deeds	Btd 2255 Correction To Rod Mass Transfer-Wrong Accounts Used On Mass Transfer	Professional Serv	\$ (4,700.00)
2256	6/4/2025	010	470	Public Firing Range	Btd 2256 Funding Salary For Shooting Range	Salaries/Wages-Reg	\$ (30,000.00)
2256	6/4/2025	010	470	Public Firing Range	Btd 2256 Funding Salary For Shooting Range	Salaries/Wages-P/T	\$ 47,000.00
2256	6/4/2025	010	470	Public Firing Range	Btd 2256 Funding Salary For Shooting Range	Retirement	\$ (5,000.00)
2256	6/4/2025	010	470	Public Firing Range	Btd 2256 Funding Salary For Shooting Range	Hospital Insurance	\$ (10,000.00)
2256	6/4/2025	010	470	Public Firing Range	Btd 2256 Funding Salary For Shooting Range	Employer 401K	\$ (2,000.00)
2257	6/4/2025	010	998	Contingency	Btl 2257 Requesting A Transfer Of Funds From The Contingency Budget To The Court Facilities Budget To	Emerg & Contingency	\$ (39,210.00)
2257	6/4/2025	010	981	Fund Transfers	Btl 2257 Requesting A Transfer Of Funds From The	Administrative	\$ 39,210.00
2257	6/4/2025	014	417	Court Facilities	Btl 2257 Requesting A Transfer Of Funds From The Contingency Budget To The Court Facilities Budget To	Admin Services Allocation	\$ 39,210.00
2257	6/4/2025	014	417	Court Facilities	Btl 2257 Requesting A Transfer Of Funds From The	Detention Fees	\$ 25,000.00
2257	6/4/2025	014	417	Court Facilities	Btl 2257 Requesting A Transfer Of Funds From The Contingency Budget To The Court Facilities Budget To	Salaries/Wages-Reg	\$ 10,000.00
2257	6/4/2025	014	417	Court Facilities	Btl 2257 Requesting A Transfer Of Funds From The Contingency Budget To The Court Facilities Budget To	Social Security Taxes	\$ 500.00
2257	6/4/2025	014	417	Court Facilities	Btl 2257 Requesting A Transfer Of Funds From The Contingency Budget To The Court Facilities Budget To	Retirement	\$ 1,000.00
2257	6/4/2025	014	417	Court Facilities	Btl 2257 Requesting A Transfer Of Funds From The Contingency Budget To The Court Facilities Budget To	Hospital Insurance	\$ 500.00
2257	6/4/2025	014	417	Court Facilities	Btl 2257 Requesting A Transfer Of Funds From The Contingency Budget To The Court Facilities Budget To	Dental Insurance	\$ 10.00
2257	6/4/2025	014	417	Court Facilities	Btl 2257 Requesting A Transfer Of Funds From The Contingency Budget To The Court Facilities Budget To	Employer 401K	\$ 500.00
2257	6/4/2025	014	417	Court Facilities	Btl 2257 Requesting A Transfer Of Funds From The Contingency Budget To The Court Facilities Budget To	Medicare Taxes	\$ 200.00
2257	6/4/2025	014	417	Court Facilities	Btl 2257 Requesting A Transfer Of Funds From The Contingency Budget To The Court Facilities Budget To	Professional Services	\$ 500.00

BUD #	DATE SUBMITTED BY DEPT	Fund #	DEPT #	DEPT NAME	EXPLANATION	Account Description	BUDGET AMOUNT
2257	6/4/2025	014	417	Court Facilities	Btl 2257 Requesting A Transfer Of Funds From The Contingency Budget To The Court Facilities Budget To	Departmental Supply	\$ 1,000.00
2258	6/4/2025	010	998	Contingency	Btl Requesting A Transfer Of Funds From The Contingency Budget To The Hr'S Budget To Support	Emerg & Contingency	\$ (27,400.00)
2258	6/4/2025	010	423	Human Resources	Btl Requesting A Transfer Of Funds From The Contingency Budget To The Hr'S Budget To Support Projected Needs For The Remainder Of The Fiscal Year,	Hospital Insurance	\$ 27,000.00
2258	6/4/2025	010	423	Human Resources	Btl Requesting A Transfer Of Funds From The Contingency Budget To The Shooting Range'S Budget To Support Projected Needs For The Remainder Of The Fiscal Year,	Dental Insurance	\$ 400.00
2259	6/4/2025	010	998	Contingency	Btl 2259 Requesting A Transfer Of Funds From The Contingency Budget To The Hr'S Budget To Support Projected Needs For The Remainder Of The	Emerg & Contingency	\$ (40,000.00)
2259	6/4/2025	010	470	Public Firing Range	Btl 2259 Requesting A Transfer Of Funds From The Contingency Budget To The Shooting Range'S Budget To Support Projected Needs For The Remainder Of The	Salaries/Wages-P/T	\$ 40,000.00
2260	6/4/2025	010	998	Contingency	Btl 2260 Requesting A Transfer Of Funds From Ihe Contingency Budget Ta The Tax Admin Budget To Support Projected Needs For The Remainder Of The Fiscal Year,	Emerg & Contingency	\$ (11,310.00)
2260	6/4/2025	010	415	Property Tax Admin	Btl 2260 Requesting A Transfer Of Funds From Ihe Contingency Budget Ta The Tax Admin Budget To Support Projected Needs For The Remainder Of The Fiscal Year,	Departmental Supply	\$ 1,000.00
2260	6/4/2025	010	415	Property Tax Admin	Btl 2260 Requesting A Transfer Of Funds From Ihe Contingency Budget Ta The Tax Admin Budget To Support Projected Needs For The Remainder Of The Fiscal Year,	Postage	\$ 3,000.00
2260	6/4/2025	010	415	Property Tax Admin	Btl 2260 Requesting A Transfer Of Funds From Ihe Contingency Budget Ta The Tax Admin Budget To Support Projected Needs For The Remainder Of The Fiscal Year,	Contracted Services	\$ 3,000.00
2260	6/4/2025	010	415	Property Tax Admin	Btl 2260 Requesting A Transfer Of Funds From Ihe Contingency Budget Ta The Tax Admin Budget To Support	Maint Contracts-Equip	\$ 1,310.00
2260	6/4/2025	010	415	Property Tax Admin	Btl 2260 Requesting A Transfer Of Funds From Ihe	Professional Serv	\$ 3,000.00
2261	6/4/2025	010	998	Contingency	Btl 2261 Requesting A Transfer Of Funds From The	Emerg & Contingency	\$ (23,350.00)
2261	6/4/2025	010	418	Elections	Btl 2261 Requesting A Transfer Of Funds From The	Salaries/Wages-Reg	\$ 23,350.00
2262	6/6/2025	010	433	Jcpc Grant Admin	Btd 2262 To Align Budget With State Budget And Allow	Departmental Supply	\$ (75.00)
2262	6/6/2025	010	433	Jcpc Grant Admin	Btd 2262 To Align Budget With State Budget And Allow	Travel/Training	\$ 310.00
2262	6/6/2025	010	433	Jcpc Grant Admin	Btd 2262 To Align Budget With State Budget And Allow For An End Of Year Appreciation Luncheon For Jcpc	Advertising/Promotion s	\$ (600.00)
2262	6/6/2025	010	433	Jcpc Grant Admin	Btd 2262 To Align Budget With State Budget And Allow	Professional Serv	\$ (2,000.00)
2262	6/6/2025	010	433	Jcpc Grant Admin	Btd 2262 To Align Budget With State Budget And Allow For An End Of Year Appreciation Luncheon For Jcpc	Awards/Appreciation	\$ 2,365.00

COUNTY OF CLEVELAND, NORTH CAROLINA

AGENDA ITEM SUMMARY

Sheriff's Office: Budget Amendment (BNA#087)

Department: Sheriff's Office

Agenda Title: Budget Amendment (BNA#087)

Agenda Summary:

Proposed Action:

ATTACHMENTS:

File Name	Description
<input type="checkbox"/> BNA_087_budget_additional_donations_received.pdf	Budget Amendment (BNA#087)

087
BNA #

June 17, 2025

SIGNATURES:



Finance Director



Department Manager

FROM: BUDGET OFFICER
THRU: FINANCE OFFICE
FOR DEPT: School Resource Officers
DATE: 6/3/2025

[illegible]

Explanation of Revisions: Budget additional donations received during FY25 over budgeted amount for SRO Star Program Summer Camp

THE ABOVE AMENDMENT HAS BEEN APPROVED AND RECORDED IN THE MINUTES OF THE COUNTY COMMISSIONERS' MEETING ON _____
(Date)

Phyllis Nowlen, Clerk to the Board

RETURN TO FINANCE OFFICE and Forward copy via email to Ian.Bishop@clevelandcountync.gov

cc: Personnel Batch # _____
cc: Purchasing Date: _____
By: _____

Account #: 010-440-4-810-43

DONATIONS-STAR PROG SUMMER CAMP

Valid

Revenue

Start Period or Year:

==> End Period:

Original Budget/Balance

Adjustments

Transfers

Adjusted Budget

Encumbrances - Current

Encumbrances - Prior

Encumbrances - Total

Requested

Debits / Expenses

Credits / Receipts

Account Balance

Account Detail

Available Budget

Print Summary

Full Time Equivalency

Fiscal 25

Fiscal 25

10,000.00

0.00

0.00

10,000.00

0.00

0.00

0.00

0.00

0.00

14,270.00

14,270.00

<4,270.00>

OK

Cancel

Clear

COUNTY OF CLEVELAND, NORTH CAROLINA

AGENDA ITEM SUMMARY

Sheriff's Office: Budget Amendment (BNA#088)

Department: Sheriff's Office

Agenda Title: Budget Amendment (BNA#088)

Agenda Summary:

Proposed Action:

ATTACHMENTS:

File Name	Description
<input type="checkbox"/> BNA_088_budget_additional_CCSO_funds_received.pdf	Budget Amendment (BNA#088)

BNA #088

June 17, 2025

Thelys

DATE: 6/3/2025

Finance

[illegible]

THE ABOVE AMENDMENT HAS BEEN APPROVED AND RECORDED IN THE MINUTES OF THE COUNTY COMMISSIONERS' MEETING ON _____
(Date)

Phyllis Nowlen, Clerk to the Board

cc: Personnel Batch # _____
cc: Purchasing Date: _____
By: _____

FileToolsCommandsHelp

My Shortcuts

Account Balance Inquiry

Account Analysis Summary Report

Budget Transfer Inquiry

Application Menu

Accounting Processing Menu

Purchase Order Entry

PO Receipts

Print PO Receipts Register

Invoice Entry Menu

Financial Ledger Reporting Menu

Financial Report Writer

Financial Report Runner

Wildcard Account Summary

Wildcard Account Analysis

General Ledger Transactions

Cash Analysis Report

Account Analysis Summary

Vendor Analysis Report

Due To/Due From Differ

Cash Basis Grant Report

Pennsylvania AFR Report

General Ledger Transactions

Asset Reporting

Financial Inquiry Menu

Account Balance Inquiry

Wildcard Account Inquiry

Vendor Inquiry

Requisition Inquiry

Purchase Order Inquiry

Accounts Payable Invoice

Check History Inquiry (AC

Cash Receipts Inquiry

Budget Transfer Inquiry

Budget Supplement Inq

Journal Entries Inquiry

Budget Preparation Inq

Reports Menu

Budget Preparation Entry

Budget Transfer Entry

Import Budget Transfers

MenuSearch

KeyStone Financials

Account Balance Inquiry

KF1290

Account #: 010-441-4-810-00

CONTRIBUTIONS/DONATIONS

Valid

Revenue

Start Period or Year: Fiscal 25

==> End Period: Fiscal 25

Original Budget/Balance	12,000.00	
Adjustments	0.00	
Transfers	0.00	
Adjusted Budget	12,000.00	

Encumbrances - Current	0.00	
Encumbrances - Prior	0.00	
Encumbrances - Total	0.00	
Requested	0.00	

Debits / Expenses	100.00	
Credits / Receipts	18,510.00	
Account Balance	18,410.00	
Account Detail		
Available Budget	<6,410.00>	
Print Summary	OK	Cancel
Full Time Equivalency		Clear

10.1.1.88COMDATA (CC.TONYA-BRITTAIN)Cleveland County, NCC5.95CAPSNUM 6/3/2025

COUNTY OF CLEVELAND, NORTH CAROLINA

AGENDA ITEM SUMMARY

Finance Department: Budget Amendment (BNA#089)

Department: Finance Department

Agenda Title: Budget Amendment (BNA#089)

Agenda Summary:

Proposed Action:

ATTACHMENTS:

File Name	Description
<input type="checkbox"/> BNA_089_bowman_street_purchase_overage.pdf	Budget Amendment (BNA#089)

BUDGET NEW - ORDINANCE AMENDMENT

BNA # 089

SUBMITTED TO BOARD OF COUNTY COMMISSIONERS
FOR CONSIDERATION AT MEETING TO BE HELD ON:

June 6, 2025

SIGNATURES:

FROM: BUDGET OFFICER
THRU: FINANCE OFFICE
FOR DEPT: Capital Project fund
DATE: 6/6/2025


Finance Officer

Department Manager

Account Number	Project Code	Department	Account Name	Increase	Decrease
010-410-4-991-00		General revenue	Fund Balance	\$ 330,000.00	
010-981-5-890-00		General Revenue	Administrative Services	\$ 330,000.00	
040-225-4-980-01		Capital Project Fund	Transfer In	\$ 330,000.00	
040-210-5-970-00		Capital Project Fund	C/O Land	\$ 330,000.00	

Explanation of Revisions: Pull Fund Balance to purchase of Bowman Street property

THE ABOVE AMENDMENT HAS BEEN APPROVED AND RECORDED IN THE MINUTES OF THE COUNTY
COMMISSIONERS' MEETING ON

(Date)

Phyllis Nowlen, Clerk to the Board

RETURN TO FINANCE OFFICE and Forward copy via email to ian.bishop@clevelandcountync.gov

cc: Personnel
cc: Purchasing

Batch # _____
Date: _____
By: _____

L. SETTLEMENT CHARGES								
700. TOTAL COMMISSION Based on Price					\$	275,000.00 @ 6.0000 % 16,500.00	PAID FROM BUYERS FUNDS AT SETTLEMENT	PAID FROM SELLERS FUNDS AT SETTLEMENT
Division of Commission (line 700) as Follows:								
701. \$ 0.00 to								
702. \$ 16,500.00 to CBC Dominion Real Estate								
703. Commission Paid at Settlement						16,500.00		0.00
704. to								
800. ITEMS PAYABLE IN CONNECTION WITH LOAN								
801. Loan Origination Fee % to								
802. Loan Discount % to								
803. Appraisal Fee to								
804. Credit Report to								
805. Lender's Inspection Fee to								
806. Mortgage Ins. App. Fee to								
807. Assumption Fee to								
808. Commitment Fee								
809. Flood Certification								
810. Processing Fee								
811. Broker Fee								
900. ITEMS REQUIRED BY LENDER TO BE PAID IN ADVANCE								
901. Interest From to @ \$ /day (days %)								
902. Mortgage Insurance Premium for months to								
903. Hazard Insurance Premium for 1.0 years to								
904.								
905.								
1000. RESERVES DEPOSITED WITH LENDER								
1001. Hazard Insurance @ \$ per								
1002. Mortgage Insurance @ \$ per								
1003. City/Town Taxes @ \$ per								
1004. County Taxes @ \$ per								
1005. Assessments @ \$ per								
1006. @ \$ per								
1007. @ \$ per								
1008. @ \$ per								
1100. TITLE CHARGES								
1101. Settlement or Closing Fee to Horn, Pack, Brown & Dow P.A.						1,000.00		
1102. Abstract or Title Search to Horn, Pack, Brown & Dow P.A.						350.00		
1103. Simplifile Fee to Horn, Pack, Brown & Dow P.A.						7.50		
1104. Deed Prep and Recording Reimb. to Horn, Pack, Brown & Dow P.A.								300.00
1105. Document Preparation to Horn, Pack, Brown & Dow P.A.								300.00
1106. Express Mail/Wire Fee to Horn, Pack, Brown & Dow P.A.								25.00
1107. Attorney's Fees to								
(includes above item numbers:)								
1108. Title Insurance to Investors Title Insurance Company						615.50		
(includes above item numbers:)								
1109. Lender's Coverage \$								
1110. Owner's Coverage \$								
1111.								
1112.								
1113.								
1200. GOVERNMENT RECORDING AND TRANSFER CHARGES								
1201. Recording Fees: Deed \$ 28.00 ; Mortgage \$; Releases \$						28.00		
1202. City/County Tax/Stamps: Deed ; Mortgage								
1203. State Tax/Stamps: Revenue Stamps 550.00 ; Mortgage								550.00
1204.								
1205.								
1300. ADDITIONAL SETTLEMENT CHARGES								
1301. Survey to								
1302. Pest Inspection to								
1303. 1031 Exchange Proceeds to ITEC to 1031 Exchange Proceeds to ITEC								273,677.96
1304.								
1305.								
1400. TOTAL SETTLEMENT CHARGES (Enter on Lines 103, Section J and 502, Section K)						18,501.00		274,852.96

By signing page 1 of this statement, the signatories acknowledge receipt of a completed copy of page 2 of this two page statement.

Horn, Pack,Brown & Dow P.A., Settlement Agent

Certified to be a true copy.

COUNTY OF CLEVELAND, NORTH CAROLINA

AGENDA ITEM SUMMARY

Health Department: Budget Amendment (BNA#90)

Department: Health Department

Agenda Title: Budget Amendment (BNA#90)

Agenda Summary:

Proposed Action:

ATTACHMENTS:

File Name	Description
<input type="checkbox"/> BNA_090_Health_Dept_Donation.pdf	Budget Amendment (BNA#90)

BUDGET NEW - ORDINANCE AMENDMENT

BNA # 090


TO BE SUBMITTED TO BOARD MEETING _____

FROM: BUDGET OFFICER

THRU: FINANCE OFFICE

FOR DEPT: HEALTHDATE: June 6, 2025

SIGNATURES:



Finance Director



Department Manager

Account Number	Project Code	Department	Account Name	Increase	Decrease
<u>012.530.4.810.00</u>	_____	<u>GENERAL ADM</u>	<u>Donations/Contributions</u>	<u>\$500.00</u>	_____
<u>012.530.5.790.00</u>	_____	<u>GENERAL ADM</u>	<u>Donations/Contributions</u>	<u>\$500.00</u>	_____
_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____

Explanation of Revisions: Budget \$500 in donations for Pharmacy perceptor program with High Point University.THE ABOVE AMENDMENT HAS BEEN APPROVED AND RECORDED IN THE MINUTES OF THE COUNTY
COMMISSIONERS' MEETING ON _____

(Date)

Phyllis Nowlen, Clerk to the Board

RETURN TO COUNTY FINANCE OFFICE

cc: Personnel Batch # _____
cc: Purchasing By _____

Handwritten signature or name, possibly "H. J. [unclear]"

HIGH POINT UNIVERSITY - HIGH POINT, N.C.

CHECK NO. 334919

DATE	DESCRIPTION	INVOICE NO.	AMOUNT
05/20/25	Preceptor Payment - 1 rotation	STP 073124	500.00
		TOTALS	500.00

RECEIVED

JUN 09 2025

Cleveland County
Public Health Center

THE FACE OF THIS DOCUMENT HAS A COLORED BACKGROUND ON WHITE PAPER



HIGH POINT UNIVERSITY
One University Parkway
High Point, NC 27268

Pinnacle Financial Partners
High Point, NC 27262

DATE 06/05/25

87-0863
0640

CHECK NO. 334919

PAY FIVE HUNDRED AND 00/100 DOLLARS

AMOUNT
*****500.00

VOID AFTER 180 DAYS

TO THE
ORDER
OF
County of Cleveland, NC
Leslie Mcswain
200 S Post Rd
Shelby NC 28150



NR Qaslin

AUTHORIZED SIGNATURE

THE BACK OF THIS DOCUMENT CONTAINS CHECK SECURITY WATERMARK AND COIN REACTIVE INK

⑈334919⑈ ⑆064008637⑆ 400012204⑈

COUNTY OF CLEVELAND, NORTH CAROLINA

AGENDA ITEM SUMMARY

Sheriff's Office: Budget Amendment (BNA#91)

Department: Sheriff's Office

Agenda Title: Budget Amendment (BNA#91)

Agenda Summary:

Proposed Action:

ATTACHMENTS:

File Name	Description
<input type="checkbox"/> BNA_091_Sheriffs_Office_Overages.pdf	Budget Amendment (BNA#91)

BNA # 091

June 9, 2025

Thelys

Finance Officer

Department Manager

Explanation of Revisions:	<u>Pull Fund Balance to fund Sheriffs Office Salaries through rest of the year</u>

(Date)

Phyllis Nowlen, Clerk to the Board

cc: Personnel Batch # _____
cc: Purchasing Date: _____
By: _____

COUNTY OF CLEVELAND, NORTH CAROLINA

AGENDA ITEM SUMMARY

Finance Department: Budget Amendment (BNA#92)

Department: Finance Department

Agenda Title: Budget Amendment (BNA#92)

Agenda Summary:

Proposed Action:

ATTACHMENTS:

File Name	Description
<input type="checkbox"/> BNA_092_Waterway_Debris_Removal.pdf	Budget Amendment (BNA#92)

BUDGET NEW - ORDINANCE AMENDMENT

BNA # 092

SUBMITTED TO BOARD OF COUNTY COMMISSIONERS
FOR CONSIDERATION AT MEETING TO BE HELD ON:

June 17, 2025

SIGNATURES:

FROM: BUDGET OFFICER

THRU: FINANCE OFFICE

FOR DEPT: FEMA

DATE: 6/12/2025

Finance Officer

Department Manager

Account Number	Project Code	Department	Account Name	Increase	Decrease
023-301-4-310-00		FEMA	Federal Grants	\$24,539,625.00	
023-301-4-350-00		FEMA	State Grants	\$ 2,726,625.00	
023-301-5-420-00		FEMA	Contracted Services	\$27,266,250.00	

Explanation of Revisions: To budget for Waterway Debris removal due to Hurricane Helene. Project Paid for 90% by FEMA and 10% by State Emergency management.

THE ABOVE AMENDMENT HAS BEEN APPROVED AND RECORDED IN THE MINUTES OF THE COUNTY
COMMISSIONERS' MEETING ON

(Date)

Phyllis Nowlen, Clerk to the Board

RETURN TO FINANCE OFFICE and Forward copy via email to ian.bishop@clevelandcountync.gov

cc: Personnel
cc: Purchasing

Batch # _____
Date: _____
By: _____

NOTICE TO PROCEED

April 7, 2025

Company Representative: Ms. Ashley Ramsay-Naile, President & COO
 Contractor's Name: CrowderGulf, LLC
 Contractor's Address: 5629 Commerce Boulevard East, Mobile, Alabama 36619

Re: Region 11 Debris Removal Services Contract Activation by the County of Cleveland, North Carolina (hereafter referred to as Activating Entity)

Dear Ms. Ashley Ramsay-Naile:

Pursuant to the terms of the Region 11 debris removal services contract dated April 7, 2025, you (the "Contractor") are hereby given notice that Activating Entity is activating the contract for removal of debris resulting from (*brief description of disaster causing activation*). As per the contract, you are required to respond to this NOTICE TO PROCEED within 24 hours of receipt of this notice. Additionally, you are required to place project personnel, including the project manager, in the jurisdiction with the same 24-hour period. Please respond by contacting Mr. Perry Davis, Emergency Management Director directly at 704-472-3648 (Cellular) upon receipt of this NOTICE to make necessary arrangements for beginning work under this Notice to Proceed. You should also sign and date this original and return it to my attention by scan to perry.davis@clevelandcountync.gov.

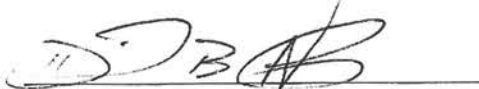
As you know, your company is required to execute a payment and performance bond equal to 100% of the estimated cost of the debris removal services within 10 days of receipt of this NOTICE TO PROCEED. The estimated cost of debris removal for this activation is \$ 27,266,250.00 . The estimated cost is based on a total of 300,000 Cubic Yards of debris. Please have this executed bond forwarded to my attention as required under the contract.

Pursuant to the contract, you are hereby instructed to submit a work plan to detail seven (7) and fourteen (14) days of projected work activity prior to beginning work in the Activating Entity's jurisdiction. Please provide this plan no later than April 19, 2025, and be prepared to meet with Activating Entity personnel to discuss this plan and the services the county expects to be provided to meet its needs in debris removal following this disaster. Please also keep in mind that Activating Entity may prioritize areas where your company shall perform specified activities.

Your company will have 180 days from the date of this Notice to Proceed to complete the debris removal services required under the contract. Additionally, all requirements set out in the contract and the Bid Specifications made a part thereof shall be complied with at all times throughout the project.

Your Activating Entity point of contact for this debris removal project is Jamie Bridges, Soil and Water Conservation District with Cleveland County. He may be contacted at 704-473-7526 (Cellular) and jamie.bridges@clevelandcountync.gov and is duly authorized to administer this contract for and in the name of Activating Entity. Any questions related to this activation should be directed to him/her.

ACTIVATING ENTITY

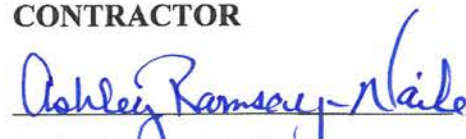


David B. Cotton, County Manager

08APR25

Issued Date

CONTRACTOR



Ashley Ramsay-Naile, President

08APR25

Received Date

COUNTY OF CLEVELAND, NORTH CAROLINA

AGENDA ITEM SUMMARY

**Request to Set a Public Hearing on Tuesday, July 8, 2025, for Planning Case 25-08;
Request to Rezone 208 Bell Road from Residential (R) to Neighborhood Business -
Conditional Use (NB-CU)**

Department: Planning Department

Agenda Title: Request to Set a Public Hearing on Tuesday, July 8, 2025, for Planning Case 25-08; Request to Rezone 208 Bell Road from Residential (R) to Neighborhood Business - Conditional Use (NB-CU)

Agenda Summary:

Proposed Action:

ATTACHMENTS:

File Name	Description
<input type="checkbox"/> 25-08_1._Staff_Report_BOC_Set_PH.pdf	Staff Report
<input type="checkbox"/> 25-08_Map_Aerial_Map.pdf	Aerial Map
<input type="checkbox"/> 25-08_Site_Plan-_Addition.pdf	Site Plan
<input type="checkbox"/> 25-08_Petition.pdf	Petition

STAFF REPORT

To: Board of Commissioners
Date: June 17, 2025
From: Chris Martin, Planning Director
Subject: Case 25-08 Rezoning R to NB-CU
Location: 208 Bell Rd.

Summary Statement: Tyler Falls of J. Houston Properties, LLC is requesting to re-zone a 1.25-acre tract of land located at 208 Bell Rd. from Residential to Neighborhood Business-Conditional Use, for a property rental/sales business office. A site has been submitted with the application.

Review: This property lies northeast of Kings Mountain and just south of Oak Grove Rd. It is currently owned by J. Houston Properties, LLC, per Cleveland County Tax Assessor.

Surrounding uses consist of mostly residential, some larger wooded and rural tracts of land, a mobile home park, and some business uses further north along Oak Grove Rd. The Land Use Plan designates this area as Primary Growth. The surrounding zoning districts include the traditional Residential and the Residential Manufactured Homes and Parks zoning.

Requested Board Action: Consider setting a public hearing for the regular meeting on **July 8, 2025**. The Planning Board can review and comment at their June 24, 2025 regular meeting.

Rezoning Case 25-08
208 Bell Rd.



GENERAL NOTES:

1. SURVEY BASED ON PHYSICAL EVIDENCE AND EXISTING CONDITIONS.
2. SURVEY PREPARED WITHOUT BENEFIT OF TITLE ABSTRACT. THE SURVEYED PROPERTY IS SUBJECT TO ANY EXISTING EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, SETBACK LINES, BURIED UTILITIES, PIPES, TANKS, MINERAL RIGHTS, TIMBER RIGHTS, AND LANDFILLS WHETHER OR NOT SHOWN ON THIS PLAT AND WHETHER OR NOT RECORDED IN THE PUBLIC RECORD.
3. NO NC GRID MONUMENTS WERE FOUND WITHIN 2,000 FEET OF SURVEY, UNLESS OTHERWISE INDICATED.
4. UNDERGROUND UTILITIES WERE NOT LOCATED EXCEPT AS SHOWN. WHERE SHOWN, BY OBSERVED EVIDENCE ONLY, UNLESS OTHERWISE NOTED.
5. BEARINGS SHOWN HEREON ARE DEGREES, MINUTES, AND SECONDS AND DISTANCES ARE US SURVEY FOOT, UNLESS OTHERWISE INDICATED.
6. ROAD RIGHTS OF WAY SHOWN FOR GRAPHICAL PURPOSES ONLY BASED ON INFORMATION FROM CLEVELAND COUNTY GIS. SUBJECT TO FINAL LOCATION AND VERIFICATION BY NCDOT.

ZONING INFORMATION

PROPERTY IS ZONED R (SOURCE: CLEVELAND CO. GIS)
SETBACKS PER CLEVELAND COUNTY UDO:
FRONT: 30', SIDE: 10', REAR: 30'
MIN. LOT WIDTH: 80'

CERTIFICATE OF SURVEYOR

THIS PLAT IS OF A SURVEY THAT CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

I, JOSEPH A. GRAY, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK __ AS __, PAGE __ SHOWN __). THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK __ AS __, PAGE __ SHOWN __. THAT THE RATIO OF PRECISION IS 1:10000+. THAT THE AREA WAS CALCULATED BY THE COORDINATE METHOD; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS __ DAY OF __, 2025.

PRELIMINARY PLAT
NOT FOR RECORDATION,
CONVEYANCES, OR SALES.

JOSEPH A. GRAY, PLS L-4716

DATE

CERTIFICATE OF REVIEW OFFICER

STATE OF NORTH CAROLINA, COUNTY OF CLEVELAND

I, ____, REVIEW OFFICER OF CLEVELAND COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL THE STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

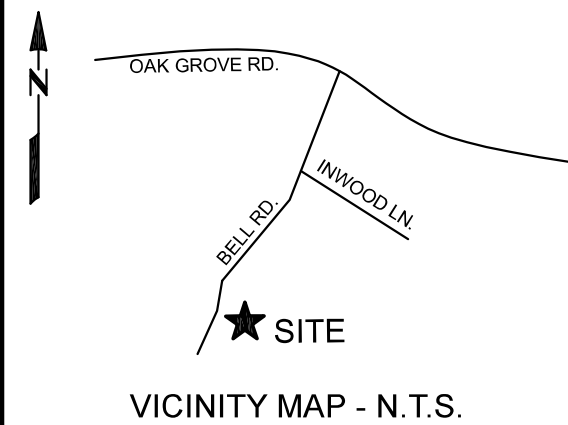
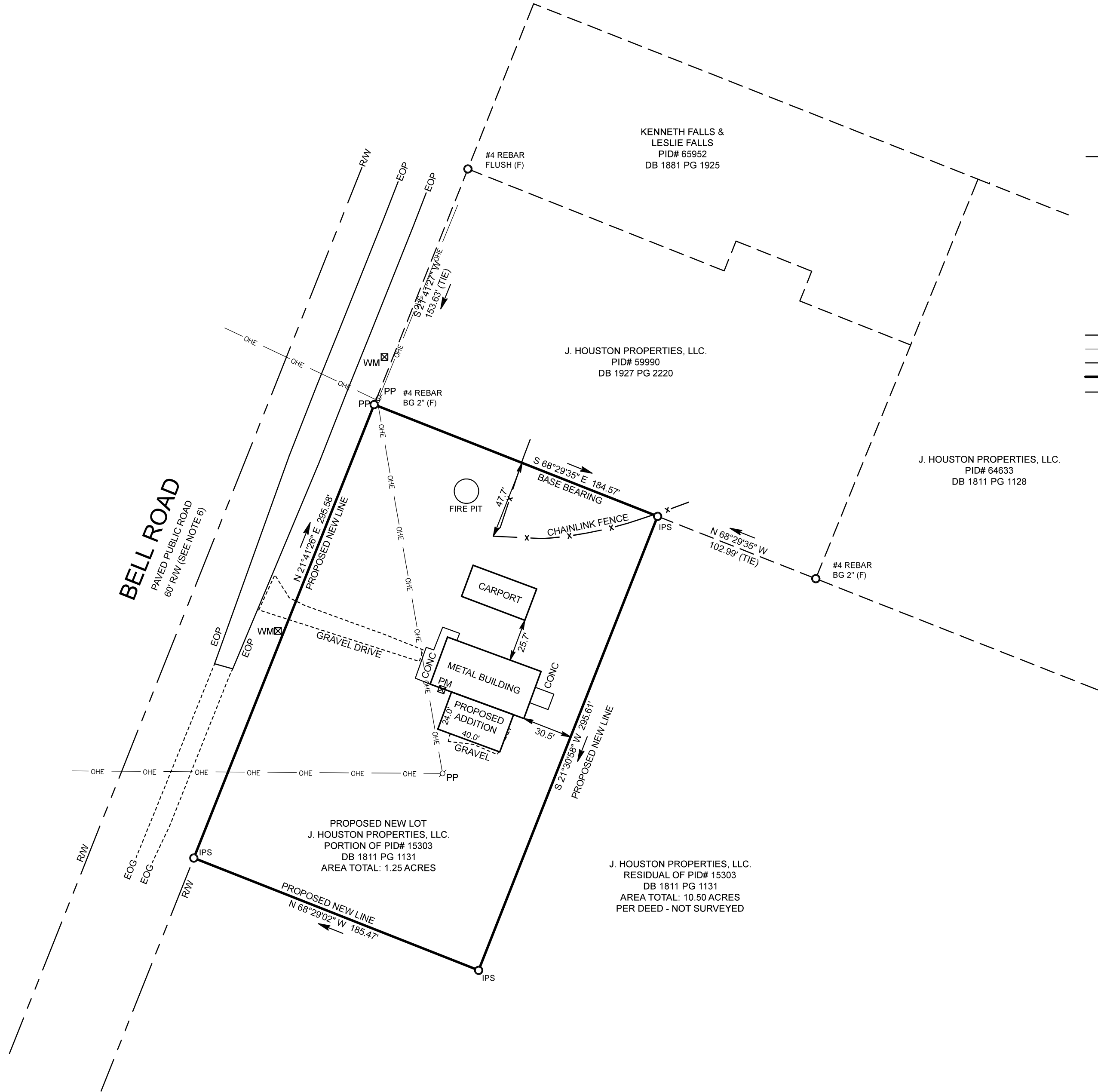
DATE

CLEVELAND COUNTY
CERTIFICATE OF APPROVAL

I HEREBY CERTIFY THAT THE MINOR SUBDIVISION SHOWN ON THIS PLAT IS IN ALL RESPECTS IN COMPLIANCE WITH THE CLEVELAND COUNTY CODE, AND THAT THIS PLAT HAS BEEN APPROVED BY THE ADMINISTRATOR, SUBJECT TO BEING RECORDED WITH THE CLEVELAND COUNTY REGISTER OF DEEDS.

ADMINISTRATOR

DATE



LEGEND

(F)	CORNER FOUND (TYPE NOTED)
IPS	IRON PIN SET - #4 REBAR SET FLUSH (UNLESS OTHERWISE NOTED)
	UNMARKED POINT
AG	ABOVE GROUND
BG	BELOW GROUND
PM	POWER METER
EOP	EDGE OF PAVEMENT
EOG	EDGE OF GRAVEL
PP	POWER POLE
RW	RIGHT-OF-WAY
WM	WATER METER
X	FENCE
OHE	OVERHEAD ELECTRIC LINE
	RIGHT OF WAY LINE
	SURVEYED LINE
	UNSURVEYED LINE (WHEN BEARING AND DISTANCE NOT SHOWN)



MINOR SUBDIVISION SURVEY & SITE PLAN
MADE AT THE REQUEST OF:
TYLER FALLS
PROPERTY OF:
J. HOUSTON PROPERTIES, LLC.
CLEVELAND COUNTY, NORTH CAROLINA
NO. 5 TOWNSHIP
SCALE: 1" = 50'
DEED REF: AS SHOWN
DATE: 19 MAY 2025
PID: 15303
JOB: 2025-101 FALLS

BUK



PETITION FOR AMENDMENT OF THE ZONING MAP

NOW COMES J. Houston Properties LLC (Tyler Falls), Applicant, whose present mailing address is 1015 Lake Montonia Rd, Kings Mtn, NC 28086, who respectfully petitions and shows as follows:

1. That the applicant is the ☒ **owner**, ☐ **legal representative**, ☐ **or other concerned parties**, of a certain tract or parcel of land located in Cleveland County, North Carolina, being more particularly described as:

Physical Address: 208 Bell Rd, Kings Mtn 28086

Parcel(s): 15303 (Portion of this parcel) containing 1.25 acres.
(if a portion of property attach survey)

2. That said property above described is presently zoned Residential and the undersigned applicant desires and does hereby request that said property be rezoned to:
Neighborhood Business - Conditional use - office

3. The proposed zoning change would require a change in the Zoning Map? YES ☒ NO ☐

If the answer is yes: An application for rezoning shall be accompanied by a survey, legal description, or map sufficient to provide public notice of the area requested for rezoning.

4. Owners of adjoining property hereby support this petition by signing below: Adjoining property shall be construed to mean and include property on the opposite side of any street, road, or highway from the property sought to be rezoned (attach an additional sheet if necessary).

PROPERTY OWNER (SIGNATURE)	PROPERTY OWNER (PRINT NAME)	PROPERTY ADDRESS

Respectfully submitted this 30th day of May, 2025.

SIGNED: [Signature]

E-MAIL: tfalls 15 @ Gmail.com PHONE NUMBER: 704-734-7806

For office use:

Payment Code: ZP11 Map Amendment

Fee: \$300

Paid on: _____ ZP: 183537 Case #: 25-08

COUNTY OF CLEVELAND, NORTH CAROLINA

AGENDA ITEM SUMMARY

Phase 2A/2B Sitework Package

Department: Yates Metcon
Agenda Title: Phase 2A/2B Sitework Package
Agenda Summary:
Proposed Action:

ATTACHMENTS:

	File Name	Description
<input type="checkbox"/>	Phase_2A_2B_Site_Work_Package_Courthouse_062025.pdf	Courthouse Site Work

Items of Change/Clarifications

PROJECT: Cleveland County Courthouse

IOCC # 102

DATE: 5.29.2025

REF DRAWING #/ SPEC#: Phase 2A/2B Siteworks Subcontract (Siteworks Package)

BRIEF DESCRIPTION OF CHANGE:

APPROXIMATE COST ESTIMATE: \$ \$9,108,492

IS PRICING REQUIRED DUE TO CHANGE? Yes

AFFECTED TRADES: Siteworks, Sterling

IS SCHEDULE AFFECTED? TBD IF YES, BY HOW MUCH?

WHAT CAUSED CHANGE? Design Changes

DETAILED DESCRIPTION OF CHANGE: See attached

The Sitework Package for Phase 2A/2B was bid on April 15, 2025, with Siteworks LLC as the lowest bidder. A scanned bid form and bid tab have been attached to this IOCC. The determination of alternates not accepted as part of this IOCC will be made at a later time. To lock in the low bidder price and issue a notice of subcontract within 60 days of the bid, this change should be expedited with urgency. All water meters and valves (labor and install) to be directly paid by the owner.

•Note: Yates retains its pricing rights and schedule rights. Approval is required in five business days, otherwise there is the cost per day in GC's and time extension to the schedule.

The attachments to this IOCCs include: 1. Site work Bid Package (addendum 3), Exhibit 1A Phasing Plan, Exhibit 1C site logistics plan, Exhibit 2 Work in place, Exhibit 3 Alternate and Allowances, Exhibit 3 - Alternate and Allowances, Exhibit 4 - 2B Staging and Hauling plan, Exhibit 7 Hardscape Improvements, Milestone Schedule, Clarification and Assumption

OWNER

DAVID B. COTTON
print name

Signature:

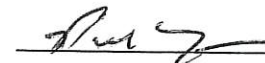


Date: 6/1/25

Architect

MOSELEY - PAUL LUZIER
print name

Signature:



Date: 6/1/25

Phase 2A/2B Siteworks Subcontract (Siteworks Package)

PROJECT: Cleveland County Judicial Center, Shelby, NC

PROPOSAL DATE:

6.9.2025

Total

\$9,108,492

IOCC

102

ITEM	TP	SUBS/OTHER	TOTAL w Sub's OHP
Sitework Package (Base Bid)	Siteworks LLC		\$ 7,652,000.00
Offsite Patton Water (Accepted Alternate)	Siteworks LLC		\$ 190,250.00
Hardscape Improvements (Accepted Alternate)	Siteworks LLC		\$ 91,000.00
Street Sweeper (Accepted Alternate)	Sterling Construction		\$ 35,000.00
Parking Equipment Allowance	TBD		\$ 80,000.00
Brick Pavers with Sub Base material (Allowance)	Sterling Construction		\$ 270,000.00
Onsite Gas Allowance	Siteworks LLC		\$ 50,000.00
TOTALS		\$0	\$8,368,250

Bond - 1.0%	\$83,683
Builders Risk	\$54,394
Contingency - 3.0%	\$251,048
SUBTOTAL	\$8,757,374
Fee 3%	\$262,721
GL .98%	\$88,397
TOTAL	\$9,108,492

BP02D Sitework

Bid Date: Tuesday, April 15, 2025

Project Name: Cleveland County Justice Center
 Location: 311 E. Marion St., Shelby, NC 28150
 Precon Mgr: Jim Brown
 Constr Mgr: Dru Patterson

Bidder's Name:		Pedula Trucking, Excavating and Paving	Sitework LLC						
License #		45362	52803						
Addendum Acknowledgement		YES	YES						
Signed or Sealed Bid Form		YES	YES						
HUB Forms Attached		YES	YES						
Bid Bond Attached		YES	YES						
Base Bid:		\$11,016,975.00	\$7,652,000.00						
Alternate No. 1		N/A	N/A						
Alternate No. 2		\$ 39,000	\$ 180,000						
Alternate No. 3		\$ 26,000	\$ 165,000						
Alternate No. 4		N/A	\$ 370,000						
Alternate No. 5		N/A	N/A						
Alternate No. 6		N/A	N/A						
Alternate No. 7		N/A	N/A						
Alternate No. 8		\$ 75,000	\$ 91,000						
Alternate No. 9		\$ 39,000	\$ 60,000						
Total w/ Base Bid and all Alternate		\$ 11,195,975	\$ 8,518,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

CLEVELAND COUNTY - PHASE 2A/2B - SUMMARY

SITEWORKS LLC

PEDULLA with all the Alternates	\$	11,195,975.00
---------------------------------	----	---------------

Item	\$ Value	Status
Base Bid	\$ 7,590,000.00	incl base bid
Payment and Performance Bond	\$ 62,000.00	incl base bid
Parking Equipment Allowance	\$ 80,000.00	incl base bid
Offsite Patton Water	\$ 190,250.00	incl base bid
Alternate 2 - Dale Street Phase 1 and 2 per plans and specs	\$ 180,000.00	Deferred to Future
Alternate 3 - Justice Place Street Phase 1 and 2 per plans and specs	\$ 165,000.00	Deferred to Future
Alternate 4 - Brick Pavers with Sub base material	\$ 370,000.00	part of base bid (repricing for credit)
Alternate 8 - Hardscape Improvements (Exhibit 7)	\$ 91,000.00	Accepted
Alternate 9 - Street Sweeper for 14 months	\$ 35,000.00	Accepted
Onsite Gas Connections - Allowance	\$ 50,000.00	pending
Total (Base Bid and P&P Bond)	\$ 8,292,250.00	
Total (Including all the Alternates)	\$ 8,813,250.00	
Total (Including the Accepted Alternates)	\$ 8,418,250.00	



CMR 00 41 00 - Bid Proposal Forms

CLEVELAND COUNTY JUSTICE CENTER I

BID PACKAGE # AND TITLE: BP2D - Sitework

BID PROPOSAL OF: Siteworks LLC
(Hereinafter call "BIDDER") (Name of Firm)

A(N) LLC organized and existing under the laws of the State of North Carolina
(Corporation, Partnership or Individual)

BIDDER'S North Carolina STATE LICENSE NUMBER: NC 52803

The bidder, in compliance with the Instruction to Bidders for the above referenced project – Bid Package, having examined the complete contract documents including plans, specifications, and addenda issued by Metcon and the Bid Manual prepared by Metcon, Construction Manager, dated **(Date)** and being familiar with the site of the proposed work, schedule requirements, and with all of the conditions surrounding the construction of the proposed project, including availability of materials and labor, hereby proposes to furnish all labor, materials, engineering, permits, fees, taxes, insurance, bonds if required, scaffolding, hoisting, tools, equipment, machinery, rentals, transportation, supervision, clean-up, and safety measures to perform all work and furnish all services necessary to provide the entire scope of work indicated in this Bid Package and Scope of Work, for the prices indicated on this Form of Proposal. These prices are to cover all expenses incurred in performing the work required for this Bid Package Scope of Work including all alternates and allowances.

The Bidder acknowledges that he/she has read and familiarized him or herself with the Minority, Woman, and Small Business Enterprise Program, and further agrees to fully incorporate and participate with this program. The Bidder has also completed and attached to this bid proposal, the required forms entitled either:

"Affidavit A – List of Good Faith Efforts" or "Affidavit B – Intent to Self-Perform"

The Bidder agrees, that if a written notice of acceptance of the bid is mailed or delivered to the undersigned within ninety (90) days after the proposal due date, to enter into a Subcontract Agreement with the Construction Manager for the bid amount indicated in the appropriate spaces on this form, which is based upon the information contained in the plans and specifications, addenda, the Bid Manual, and the Scope of Work defined in Exhibit A – Scope of Work, and including work that might be considered a part of this trade's standard scope of work, but is not specifically indicated herein. The bidder further agrees to, within seven (7) calendar days, deliver to the Construction Manager a contract properly executed, insurance certificates, and if required, a Performance and Labor & Material Payment Bond.

After Bid Proposals are received, tabulated, and evaluated by the Construction Manager, and the successful Bidder for each Bid package has been determined, said Bidder agrees to meet immediately with the Construction Manager for purposes of determining that the Bidder has included a complete scope of work in their proposal. For purposes of these meetings, the Bidder agrees to provide herein



a complete, detailed cost breakdown, a list of all Sub-Subcontractors, a list of all Suppliers, a schedule of anticipated manpower, a list of all items, materials and their manufacturers proposed for use in the work as required by the Construction Manager.

The Bidder acknowledges receipt of the following Addenda issued by the Construction Manager:

Addendum No.	<u>1</u>	Dated:	<u>3-11-25</u>
Addendum No.	<u>2</u>	Dated:	<u>3-20-25</u>
Addendum No.	<u>3</u>	Dated:	<u>3-25-25</u>
Addendum No.	<u>4</u>	Dated:	<u>4-7-25</u>
Addendum No.	_____	Dated:	_____
Addendum No.	_____	Dated:	_____

BASE BID

The undersigned agrees to perform the entire Scope of Work for this Bid package, as described in the Contract Documents, Addenda, and Bid Manual. Pricing is to be provided as follows:

Item 1 - Base Bid:

Seven Million, Five Hundred Ninety Thousand and 00/100
Dollars,

(\$ 7,590,000.00).

Item 2 - Performance and Payment Bonds:

Sixty Two Thousand and 00/100
Dollars,

(\$ 62,000.00).

Item 3 - (Total of Item 1 and 2):

Seven Million, Six Hundred Fifty Two Thousand and 00/100
Dollars,

(\$ 7,652,000.00).



Show amount in both words and figures, in case of discrepancy, the amount shown in words shall govern.

All North Carolina State Sales and Use Taxes or Local Sales and Use Taxes are included in the above Base Bid and Alternates (including taxes on purchased or rental of tools and equipment). Bidder agrees that this bid will remain good and may not be withdrawn for a period of ninety (90) days after receipt date of Bid Proposal.

Alternates

All alternates must be completed with words and a dollar figure. If the base bid is not changed by the acceptance of the alternate, the words "Zero", "No Change", "N/A" or Not Applicable is acceptable. Please do not leave **BLANK**.

ALTERNATE NO.01 – Generators (2) Remove from bid & relocate within 5 miles of site

Not Acceptable

Dollars (\$ N/A), circle one Add or Deduct

Allowance

~~ALTERNATE NO.02 – Dale St. Phase I & II completed as per Justice Place plans and specs~~

One Hundred Eighty Thousand and 00/100

Dollars (\$ 180,000.00), circle one Add or Deduct

Allowance

~~ALTERNATE NO.03 – Justice Place Phase II to East Marion St. as per Phase I plans and specs~~

One Hundred Sixty Five Thousand and 00/100

Dollars (\$ 165,000.00), circle one Add or Deduct

Allowance

~~ALTERNATE NO.04 – Marion St. completed as per Justice Place plans & specs~~

Three Hundred Seventy Thousand and 00/100

Dollars (\$ 370,000.00), circle one Add or Deduct

ALTERNATE NO.05 – Two (2) Bench per spec, additional benches matching specifications

Not Acceptable

Dollars (\$ N/A), circle one Add or Deduct



A JOINT VENTURE

ALTERNATE NO.06 – Four (4) Trash Receptacles per specifications

Not Acceptable

Dollars (\$ N/A). circle one Add or Deduct

ALTERNATE NO.07 – One-year maintenance quote above what is required per specifications

Not Acceptable

Dollars (\$ N/A). circle one Add or Deduct

ALTERNATE NO.08 – Add for Hardscape Improvement as per Exhibit 7.

Ninety One Thousand and 00/100

Dollars (\$ 91,000.00). circle one Add or Deduct

ALTERNATE NO.09 – Include Street Sweeper rental (SWEEPER CONSTRUCTION RIDE ON 3 WHEEL Make: LAYMOR Model: SM300, either this model or similar) for 14 months.

Sixty Thousand and 00/100

Dollars (\$ 60,000.00). circle one Add or Deduct

UNIT PRICES & ALLOWANCES

The Bid Packages that are affected by the following Unit Prices have been identified. Provide the unit cost for the following items as it pertains to the work in this contract. Prices are to include all direct cost of the work, taxes, overhead, profit, supervision, equipment, sub-subcontracts, materials, labor, etc. Prices shall remain in effect for the entire duration of the project. Unit prices will be used as a basis for adjustment of the contract total whether work is added or deducted. A unit price must be provided in the appropriate space on the Bid Proposal Form for all unit prices corresponding to your bid package. Lump-sum and unit prices allowances are listed below. Construction allowances, if required, are included Bid Packages for each applicable trade package.

UNIT PRICE/ Allowances:

UP-1 Sod	\$ <u>N/A</u> /Square Feet
UP-2 Mulch 3" depth	\$ <u>N/A</u> /Square Feet
UP-3 Topsoil	\$ <u>N/A</u> /Cubic Yard
UP-4 Bick Rack	\$ <u>N/A</u> /EACH
UP-5 Rip Rap	\$ <u>100.00</u> /TONS



UP-6 Inlet Protection \$ 715.00 /Each

UP-7 Slit Fence \$ 6.00 /Liner Feet

UP-8A 3" Heavy Duty Asphalt Paving \$ 60.00 /Square Yard

UP-8B 2" Light Duty Asphalt Paving \$ 50.00 /Square Yard

UP-9 ABC Stone for Underlayment \$ 135.00 /Cubic Yard

UP-10 24" Concrete Curb and Spill Gutter \$ 40.00 /Liner Feet

UP-11 24" Concrete Curb and Standard Gutter \$ 40.00 /Liner Feet

UP-12 Concrete Sidewalk \$ 10.00 /Square Feet

UP-13 Concrete Pavers \$ TBD /Square Feet

UP-14 Concrete Pavers at Crosswalk (Vehicular) \$ TBD /Square Feet

UP-15 Base Under Pavers (Assume 6" ABC Stone) \$ TBD /Square Feet

UP-16 Import of suitable soils per specs at \$ 27.50 / Cubic Yard at a total of

\$ 1,721,500.00 for the Allowance included in the base bid.

SCHEDULE

Bidder has reviewed the proposed Schedule included in the bid manual and agrees that it can achieve the schedule as shown.



CONTRACT TERMS AND CONDITIONS

Bidder has read and reviewed the terms and conditions enclosed in the Yates – Metcon Subcontract and takes no exception and is prepared to enter into Subcontract with the Construction Manager.

The undersigned represents that this proposal is made in good faith, without fraud, collusion, or connection of any kind with any other bidder of the same work, that he/she is competing in his/her own interest and in his/her own behalf, without connection of obligation to an undisclosed person; that no other person has any interest in regard to all conditions pertaining to the Work and in regard to the place where it is to be done, has made his/her own examination and estimates and from them makes this proposal. The undersigned understands that the Construction Manager, Owner and Architect reserve the right to reject any and all Bid Proposals and to waive any irregularities or informalities.

SIGNATURE:

(Owner, President or Authorized Agent if Corporation)

NAME & TITLE:

Stefani Coley
(Print)

President

2nd SIGNATURE:

WITNESS

(If Partnership)

BUSINESS ADDRESS:

P.O. Box 7248

(Street Number & Street, PO Box)

Charlotte

NC 28241

(704) 588

3055

(City, State, Zip, Phone)

ATTEST (if Corporation)

(Name)

VP

(Title)

Check One: ☐ Individual ☐ Partnership ☒ Corporation ^{LLC}

Affix Corporate Seal Here

Attach to Bid Attach to Bid Attach to Bid Attach to Bid Attach to Bid Attach to Bid

Attach AFFIDAVIT A or AFFIDAVIT B to the Bid

State of North Carolina – AFFIDAVIT A – Listing of the Good Faith Effort

County of Mecklenburg

Affidavit of Siteworks LLC
(Name of Bidder)

I have made a good faith effort to comply under the following areas checked:

Bidder must earn at least 50 points from the Good Faith Efforts list for their bid to be considered responsive.

- ☒ **1 – (10 Points)** Contacted minority businesses that reasonably could have been expected to submit a quote and that were known to the contractor or available on State or local government-maintained lists, at least 10 days before the bid date and notified them of the nature and scope of the work to be performed.
- ☒ **2 – (10 Points)** Made the construction plans, specifications and requirements available for review by prospective minority businesses or providing these documents to them at least 10 days before the bids are due.
- ☒ **3 – (15 Points)** Broken down or combined elements of work into economically feasible units to facilitate minority participation.
- ☐ **4 – (10 Points)** Worked with minority trade, community, or contractor organizations identified by the Office of Historically Underutilized Businesses and included in the bid documents that provide assistance in recruitment of minority businesses.
- ☒ **5 – (10 Points)** Attended pre-bid meetings scheduled by the public owner.
- ☐ **6 – (20 Points)** Provided assistance in getting required bonding or insurance or provided alternatives to bonding or insurance for subcontractors.
- ☒ **7 – (15 Points)** Negotiated in good faith with interested minority businesses and did not reject them as unqualified without sound reasons based on their capabilities. Any rejection of a minority business based on lack of qualification should have the reasons documented in writing.
- ☐ **8 – (25 Points)** Provided assistance to an otherwise qualified minority business in need of equipment, loan capital, lines of credit, or joint pay agreements to secure loans, supplies, or letters of credit, including waiving credit that is ordinarily required. Assisted minority businesses in obtaining the same unit pricing with the bidder's suppliers in order to help minority businesses in establishing credit.
- ☐ **9 – (20 Points)** Negotiated joint venture and partnership arrangements with minority businesses in order to increase opportunities for minority business participation on a public construction or repair project when possible.
- ☐ **10 – (20 Points)** Provided quick pay agreements and policies to enable minority contractors and suppliers to meet cash-flow demands.

In accordance with GS143-128.2(d) and Board of Education Policy the undersigned will enter into a formal agreement with the firms listed in the Identification of Minority, Women, and Small Business Participation schedule conditional upon execution of a contract with the Owner. Failure to abide by this statutory provision will constitute a breach of the contract. The undersigned hereby certifies that he or she has read the terms of the Minority, Women, and Small Business Enterprise commitment and is authorized to bind the bidder to the commitment herein set forth.

Date: 3/31/25

Seal:

Name of Authorized Officer: Stefani Coley

Signature: [Signature]

Title: President

State of NC

County Mecklenburg

sworn to before me this

31 day of

March

20 25

Subscribed and

Notary Public [Signature]
My commission expires 10/3/2027

JARLYNN CARABALLO-SOLIVAN
NOTARY PUBLIC
Mecklenburg County
North Carolina
Commission Expires October 3, 2027

Attach to Bid Attach to Bid Attach to Bid Attach to Bid Attach to Bid Attach to Bid

Minority, Women, and Small Business Enterprise Identification Form

I, Siteworks LLC

(Name of Bidder)

do hereby certify that on this project, we will use the following minority, women, or small business enterprises as construction subcontractors, vendors, suppliers or providers of professional services.

Firm Name, Address and Phone #

Work type

*M/W/SBE

Category

TBD		
	Hauling	TBD
Centerline Locating		
	Locating	WBE

*M/W/SBE categories: Black, African American (B), Hispanic (H), Asian American (A) American Indian (I),

Female (F), Small (S), or Socially and Economically Disadvantaged (D)

The total value of M/W/SBE firms contracting will be (\$) 625,000.00

Attach this form and AFFIDAVIT A or this form and AFFIDAVIT B to the Bid

THE AMERICAN INSTITUTE OF ARCHITECTS

AIA Document A310 Bid Bond

KNOW ALL MEN BY THESE PRESENTS, THAT WE Siteworks, LLC

PO Box 7248, Charlotte, NC 28215

as Principal, hereinafter called the Principal, and The Cincinnati Insurance Company

P.O. Box 145496, Cincinnati, OH 45250-5496

a corporation duly organized under the laws of the State of OH

as Surety, hereinafter called the Surety, are held and firmly bound unto Yates-Metcon JV

1775 The Exchange Southeast, Atlanta, GA 30339

as Obligor, hereinafter called the Obligor, in the sum of Five Percent of Amount Bid

Dollars (\$ 5%),

for the payment of which sum well and truly to be made, the said Principal and the said Surety, bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, the Principal has submitted a bid for Cleveland County Justice Center Phase 2

NOW, THEREFORE, if the Obligor shall accept the bid of the Principal and the Principal shall enter into a Contract with the Obligor in accordance with the terms of such bid, and give such bond or bonds as may be specified in the bidding or Contract Documents with good and sufficient surety for the faithful performance of such Contract and for the prompt payment of labor and materials furnished in the prosecution thereof, or in the event of the failure of the Principal to enter such Contract and give such bond or bonds, if the Principal shall pay to the Obligor the difference not to exceed the penalty hereof between the amount specified in said bid and such larger amount for which the Obligor may in good faith contract with another party to perform the Work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect.

Signed and sealed this 1st day of April, 2025

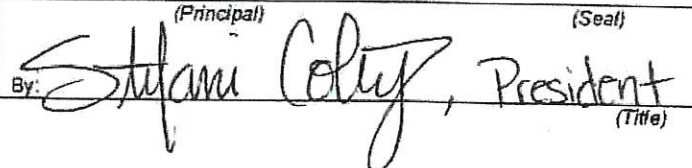

(Witness)

Siteworks, LLC

(Principal)

(Seal)

By:


(Title)

The Cincinnati Insurance Company

(Surety)

(Seal)

By:


Attorney-in-Fact Christina Worrells (Title)



THE CINCINNATI INSURANCE COMPANY
THE CINCINNATI CASUALTY COMPANY

Fairfield, Ohio

POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS: That THE CINCINNATI INSURANCE COMPANY and THE CINCINNATI CASUALTY COMPANY, corporations organized under the laws of the State of Ohio, and having their principal offices in the City of Fairfield, Ohio (herein collectively called the "Companies"), do hereby constitute and appoint **Christina Worrells** its true and legal Attorney-in-Fact to sign and deliver on behalf of the Companies as Surety, at any place within the United States, the following surety bond:

Surety Bond Number: Bid Bond
Principal: Siteworks, LLC
Obligee: Yates-Metcon JV

This appointment is made under and by authority of the following resolutions adopted by the Boards of Directors of The Cincinnati Insurance Company and The Cincinnati Casualty Company, which resolutions are now in full force and effect, reading as follows:

RESOLVED, that the President or any Senior Vice President be hereby authorized, and empowered to appoint Attorneys-in-Fact of the Company to execute any and all bonds, policies, undertakings, or other like instruments on behalf of the Corporation, and may authorize any officer or any such Attorney-in-Fact to affix the corporate seal; and may with or without cause modify or revoke any such appointment or authority. Any such writings so executed by such Attorneys-in-Fact shall be binding upon the Company as if they had been duly executed and acknowledged by the regularly elected officers of the Company.

RESOLVED, that the signature of the President or any Senior Vice President and the seal of the Company may be affixed by facsimile on any power of attorney granted; and the signature of the Secretary or Assistant Vice-President and the Seal of the Company may be affixed by facsimile to any certificate of any such power and any such power of certificate bearing such facsimile signature and seal shall be valid and binding on the Company. Any such power so executed and sealed and certified by certificate so executed and sealed shall, with respect to any bond or undertaking to which it is attached, continue to be valid and binding on the Company.

IN WITNESS WHEREOF, the Companies have caused these presents to be sealed with their corporate seals, duly attested by their President or any Senior Vice President this 16th day of March, 2021.



STATE OF OHIO) SS:
COUNTY OF BUTLER)

THE CINCINNATI INSURANCE COMPANY
THE CINCINNATI CASUALTY COMPANY

Stephen A. Ventre

On this 16th day of March, 2021 before me came the above-named President or Senior Vice President of The Cincinnati Insurance Company and The Cincinnati Casualty Company, to me personally known to be the officer described herein, and acknowledged that the seals affixed to the preceding instrument are the corporate seals of said Companies and the corporate seals and the signature of the officer were duly affixed and subscribed to said instrument by the authority and direction of said corporations.



Keith Collett
Keith Collett, Attorney at Law
Notary Public - State of Ohio

My commission has no expiration date.
Section 147.03 O.R.C.

I, the undersigned Secretary or Assistant Vice-President of The Cincinnati Insurance Company and The Cincinnati Casualty Company, hereby certify that the above is the Original Power of Attorney issued by said Companies, and do hereby further certify that the said Power of Attorney is still in full force and effect.

Given under my hand and seal of said Companies at Fairfield, Ohio, this 1st day of April, 2025.



Ed H.

Bid Checklist

Print Outside Sealed Envelope

- ☒ Company Name
- ☒ Project Name
- ☒ Bid Package Name and Number (i.e. BP08100 Doors and Hardware)
- ☒ Bid Enclosed

Inside Sealed Envelope

- ☒ Bid Proposal Form
- ☒ Bid Bond or Cashiers Check if > than \$100,000.00
- ☒ Sign and Notarize Proposal Form
- ☒ Acknowledge all Addendums
- ☒ No Qualification, Clarifications or Exclusion should be written on Bid Form
- ☒ Affidavit A or B
- ☒ Minority, Women, and Small Business Enterprise Identification Form

Viewed Contract Documents

- ☒ Drawings, Project Specifications, CMR Bid Manual (Scope of Work), Addendums and Clarifications

Please use checklist to ensure your proposal has all the required documents enclosed inside envelope. PLEASE ATTACH CHECKLIST INSIDE 9-1/2 ENVELOPE (9" X 12") SEALED ENVELOPE.

PLEASE PROVIDE INFORMATION TO CONTACT AFTER BID

Company Name: Siteworks LLC
Contact Name: Brian Smith - Chief Estimator
Contact Number: 704.588.3055
Contact Email: bsmith@siteworks-llc.com



A JOINT VENTURE

Cleveland County Justice Center
Phase II Sitework and Demolition

CM Addendum 3

March 25, 2025

This addendum incorporates the following changes to the bidding documents:

1. Sitework bid package (10 pages)
 - a. Scope Inclusions Item 1 – Included in this scope is the installation of water, sewer and fire lines to a point indicated on the plans within 5 feet of the building (domestic water, sanitary sewer and fire line). Refer to Item 28 for fire pipe connection.
 - b. Scope Inclusions Item 28 - Subcontractor shall include an allowance of \$10,000 for the fire water service connection from 5 feet of the building to one foot above finish floor ONLY in the Courthouse. Same connections for Detention Center and Sheriffs office are completed already.
 - c. Allowance of \$ 50,000 added for Prefabricated Railing on top of Graham Street Wall.
2. Exhibit 2 - Work in Place REV 1 (7 pages)
 - a. Fire Pipe connection from 5 feet of building to one foot above finish floor has been added to the Work in place exhibit.

All Bidders shall acknowledge this CM Addendum 3 on your Bid Form at the time of bid, or your bid may be deemed non-responsive.

Yates Metcon

1775 The Exchange SE, Suite 130
Atlanta, GA 30339



**BID PACKAGE
SITE WORK
(SCOPE OF WORK)**

The Scope of Work shall include the furnishing of a complete **SITE WORK** package. This shall include, but is not limited to all required: labor, fabrication, engineering, submittals, shop drawings, materials, equipment, tools, supervision, hoisting, scaffolding, and transportation as required for a complete scope of work.

DESCRIPTION OF SCOPE INCLUSIONS

The following is non-exhaustive list of inclusions and is not intended to limit the work in any way.

A. CONTRACT DOCUMENTS:

-
- All work shall be performed in accordance with Contract Documents.
- All plans and specifications
- All scope of work requirements
 - o Division 1 General Requirements
- All contract requirements
- Work in this scope includes all work in specifications sections including, but not limited to:
 - o 311000 Site Clearing
 - o 311505 Evacuation, Backfill, and Compaction
 - o 312319 Dewatering
 - o 312323.33 Flowable Fill
 - o 312500 Erosion and Sedimentation Controls
 - o 312510 Paving and Surfacing
 - o 312510.1 Surface Restoration
 - o 312910 Miscellaneous Work and Cleanup
 - o 320100 Concrete Forming and Accessories
 - o 320200 Concrete Reinforcing
 - o 320300 Cast-in-place Concrete
 - o 320400 Concrete Curing
 - o 321723 Pavement Markings
 - o 323113 Chain Link Fences and Gates
 - o 323113.53 High-security Chain-link Fences and Gates
 - o 330110.58 Disinfection of Water Utility Piping Systems
 - o 330230.11 Television Inspection of Sewers
 - o 330505.31 Hydrostatic Testing
 - o 330505.33 Infiltration and Exfiltration Testing



Cleveland County Justice Center

- o 330505.36 Vacuum Testing
- o 330505.41 Air Testing
- o 330505.43 Mandrel Testing
- o 330561 Concrete Manholes
- o 331413 Public Water Utility Distribution Piping
- o 331417 Water Services
- o 331419 Valves and Hydrants
- o 331500 Miscellaneous Valves and Appurtenances
- o 332800 Storm Drainage System
- o 333111 Sanitary Sewerage Gravity Piping

B. BONDING REQUIREMENTS:

Each Subcontractor submitting a bid greater than \$100,000 shall include with their bid a 5% Bid Bond and shall have a Performance and Payment Bond included in their bid price. Additionally, all Bonds shall be submitted per the Subcontract Agreement provided in the Bid Manual.

C. SUBMITTAL REQUIREMENTS

Submittal of all product data, shop drawings, samples, product schedules, equipment vendor information and test data as called for in the specifications and/or Bid Manual under this agreement shall be made using Trimble Project-Sight. The Construction Manager shall provide access to webinar training for the Subcontractor. The Subcontractor shall make themselves familiar with the software and their responsibilities to assure the correct use, timely submission and response to submittals. Physical samples shall be delivered and submitted to the Construction Manager at a location to be determined by the Construction Manager. The term "deliver" shall refer to the uploading of submittals in Project-Sight or the delivery of physical submittals as required by specification. Final hard copies of Engineer sealed drawings if required shall be delivered the Construction Manager within 14 days of approval. All drawings requiring this seal shall be uploaded bearing the electronic seal prior to approval.

D. INCLEMENT WEATHER REQUIREMENTS:

Work in the bid package shall include all necessary provisions (labor, materials, equipment, etc.) to meet the schedule requirements. The provisions shall include inclement weather days as it pertains to your scope of work and critical path as follows:

January	7 days	May	7 days	September	5 days
February	6 days	June	6 days	October	5 days
March	7 days	July	8 days	November	5 days
April	6 days	August	6 days	December	6 days

Bid Package : Site Work



E. PRECONSTRUCTION CONFERENCE:

The Subcontractor shall attend a Pre-Construction Conference conducted by the Construction Manager.

The Subcontractor shall have at this meeting the assigned Project Manager and Superintendent. Topics of review for this meeting shall include but are not limited to safety, mockups, samples of work, inspection processes, reviews of plans, specifications, scope of work by this Subcontractor, schedule, quality control measures, and potential scope gaps.

F. STANDARD SCOPE INCLUSIONS:

The items listed below are specifically included and are for clarification purposes only. They shall not be construed as a complete list of all work. It is the intent of this to clarify subcontract issues. If conflicts are discovered between this and the Subcontract General Terms, then the Subcontract General Terms shall govern.

1. Provide a full-time, competent and English-speaking Superintendent / Foreman onsite at all times to coordinate the work of this project.
2. Subcontractor will not use or allow the use of the building sewer or drainage systems for cleaning or disposing of its materials, equipment or waste. In the event any systems are plugged or obstructed by this Subcontractor's materials, Subcontractor will reimburse the Contractor for the repair cost plus a mark-up.
3. The Subcontractor is responsible for receiving, unloading, inventorying, storing and protection of materials furnished in this scope. All deliveries shall be coordinated in advance with the Construction Manager. Any unscheduled deliveries are subject to rejection based upon timing, available laydown area and site access solely at the discretion of the Construction Manager.
4. All scaffolding, working platforms, material handling, storage, lifting & hoisting as required to perform work in this scope.
5. Maintaining streets and parking lots in clean condition for your scope of work.
6. This subcontractor is responsible for all temporary safety measures for any openings to meet Yates-Metcon requirements pertaining to your scope of work.
7. The Subcontractor has reviewed all drawings, documents, appendices and specifications for this project and has found no obvious omissions and further agrees that the work of this agreement and the project can be constructed within the milestone and completion dates without claims for delay or impact costs, unless substantial Owner directed Scope changes occur.
8. The Subcontractor is responsible for protection of their work in place and damages to the work of others in performance of this scope.
9. Within **10** days of receipt of subcontract, each subcontractor is required to issue a manpower count necessary for each section/activity of their scope of work to meet the schedule requirements. Yates/Metcon must review and approve the proposed manpower counts prior to commencement of your work. Yates/Metcon, Owner, Architect & Consultants will be tracking the manpower weekly for each activity and the status of project schedule compliance to measure performance.



Cleveland County Justice Center

10. The subcontractor is responsible for protection of their work in place and damages to the work of others in performance of this scope.
11. The subcontractor is responsible for providing all necessary material, management and equipment to comply with safety measures as described per the Yates/Metcon site requirements and measures listed in the Yates/Metcon Site Specific Safety Plan included in the contract documents and bid manual.

G. PROJECT SCOPE INCLUSIONS:

1. **Included in this scope is the installation of water, sewer and fire lines to a point indicated on the plans within 5 feet of the building (domestic water, sanitary sewer and fire line). Refer Item 28 for fire pipe connection.** Addendum 3
Owner shall pay directly for all water & sewer taps. Water tap will be provided to the meter and sewer taps to the property line. This contractor shall coordinate with the plumbing and fire protection contractors who will accept the site lines from this contractor and make final connections. Coordinate building point of entry (location and elevation), and flange layout/bolt pattern with Fire Protection Subcontractor. Sleeving of walls and waterproofing penetration is herein included.
2. Subcontractor shall be responsible for moving all excavation spoils to a location designated by CM.
3. Subcontractor shall make application, obtain and pay for a one (1) inch irrigation tap to serve as temporary water service to the site. Application shall be made as soon as contract execution as is practical to ensure the most expedient installation. From this tap the contractor shall install a backflow preventer, 250 LF of line (buried) and two (2) hose bib connections.
4. Subcontractor to provide one surveyor for this scope of work.
5. All work under this subcontract will be in accordance with the Contract Documents and City, NCDENR, and NCDOT Requirements.
6. Subcontractor is responsible for the procuring of and payment for all required Right-of-way permits, Curb Cut Permits, City Insurance requirements, roadway bonds, etc.
7. It is the responsibility of this Subcontractor to ensure that all piping installations have sufficient specified or code required coverage
8. Subcontractor is responsible for final setting and adjusting of all grates, manholes, hydrants, clean-out covers, etc.
9. Subcontractor is responsible for total coordination of all underground utilities and for providing complete utilities system. There will be no cost or time considerations given for adjustments of structures or pipe runs due to conflicts arising from lack of coordination with adjacent utilities, structures, or other Subcontractors. First installed does not constitute grounds for a change order for installation of uncoordinated work.

10. The Subcontractor is responsible for the re-wetting, aeration, and/or drying of existing soil materials to obtain optimum moisture content for use as compacted fill. In the event weather conditions do not allow Subcontractor to dry wet materials required to perform the work within the scheduled time frame, Subcontractor shall remove and dispose of the wet material and replace with suitable soil as not to delay project schedule at no additional cost to Construction Manager.
11. Surface and rainwater controls shall be provided throughout the duration of the Agreement. Contaminated water, beyond the limits allowed by the Contract Documents shall not be permitted, mechanically or by natural flow, to be discharged off-site. Quality of water discharged shall comply with all requirements of the Contract documents and local jurisdictional allowances. All flocculation as required to comply with the quality of water requirements of the Contract Documents shall be included.
12. All liabilities of sediment entering storm sewer system or discharging off-site is the responsibility of the Subcontractor to rectify.
13. Subcontractor is responsible for notifying Construction Manager, Owner, Architect, and governing agencies of all tie-ins and shutdowns of existing utility systems and inspection requests.
14. Subcontractor is required to maintain daily rain fall records, have rain gauge on-site, current inspection drawings, permit card, etc. for Owner, Engineer, and NCDENR storm water inspection requirements. Subcontractor is responsible to have a supervisor present on all storm water management inspections. All inspection violations shall be corrected by the end of the day of the inspection violation notification or Subcontractor will not be allowed to continue site operations until such violations are rectified. Current plans will need adjustment during 2A & 2B to complete work.
15. Subcontractor is responsible for providing all required temporary and permanent access requirements for Owner and Construction operations at all times.
16. Subcontractor is responsible for dewatering. Dewatering is considered all natural grade water as well as "surface or rainwater" for all excavations under this scope of work. Dewatering includes all required pumps, sumps, stone, etc. for proper execution of work under this agreement and for the continual maintenance of exposed soil conditions to access the work under this agreement.
17. It is the responsibility of this Subcontractor to maintain a suitable soil substrate condition once exposed under this agreement (or exposed by others as in mass excavation to perform work under this agreement). The Owner (or the Construction Manager) will not be responsible to reimburse Subcontractor for the costs to remove unsuitable soil and dispose of off-site or for the replacement costs of suitable fill (or stone backfill) for exposed substrate conditions on-site (except any contaminated soil).
18. Final grading shall be free of any rocks, roots, debris. The Subcontractor shall request an inspection of topsoil/grading to be performed by the Construction Manager and/or owner prior to placing any permanent ground cover.
19. The site work contractor shall include the maintenance of all stormwater protection requirements



Cleveland County Justice Center

for the duration of the project from implementation to removal. This will include but is not limited to all post event inspections and reports in accordance with the AHJ.

20. The site work contractor shall include soil stabilization as required to meet the project schedule, Phases 2A to 2B.
21. The site contractor shall have on site (at all times) equipment (including a smooth drum roller) to remove ruts and seal the site prior to inclement weather as recommended in the soils report.
22. The site contractor shall include street sweeping and water truck washing of all roads on CCJC for the duration of the project after weather events including the cost/fees for water and traffic control associated with this work.
23. The site contractor shall include all footing and bases for Fencing, Flagpoles and Parking Equipment including, but not limited to: Gates, Bollards, Etc.
24. Upon completion by the Masonry and Concrete scopes as directed by the CM, the Subcontractor shall backfill and compact (with dry suitable soil) the area around all the building up to the brick veneer and shall slope it to the nearest yard inlet or back of curb.
25. The site contractor bid shall include allowances for the following based upon unit prices provided on the bid form. Deductions from the allowances shall be based upon unit prices provided in subcontract agreement.
26. Subcontractor shall provide all requirements for parking equipment. Coordinate with other trades and Cleveland County to interface with each building system to provide a complete and operable installation.
27. Subcontractor to quantify the imports based on the existing condition with in the 10 days of contract execution. provide existing land survey and provide cut-fill analysis based on existing land survey within 30 days of contract execution. Addendum 1
28. Subcontractor shall include an allowance of \$10,000 for the fire water service connection from 5 feet of the building to one foot above finish floor only in the Courthouse. This scope needs to be completed before the Slab on grade is poured. Addendum 3

Unit Prices

For UNIT PRICES requirements please refer to the bid form.

PHASE2A SITE WORK

DEMO

02A: Demolition	SUB
Sawcut and Remove Asphalt Pavement	SQFT
Remove Existing Curb	LNFT
Existing Sections of Concrete ADA Ramps to be Removed	SQFT
Remove Existing Handrail Store on Site	LNFT

PHASE2B SITE WORK

DEMO

02A: Demolition	SUB
Demo - Existing Courthouse	SQFT
Asbestos Abatement Allowance	SQFT
Demo - 10K Gallon Fuel Tank	ALLOW
Demolition Contingency	LSUM
Demo Existing Concrete Curb	LNFT
Demo Existing Concrete	SQFT
Remove and Salvage Existing Signage	EACH
Remove and Salvage Existing Gate Arm	EACH
Demo Existing Asphalt	SQFT
Remove and dispose of Existing Plaza Area	SQFT

EARTHWORK

02B: Earthwork	SUB
Mobilization	EACH
Survey & Layout	LPSM
Construction Entrances	EACH
Truck Wash Station	EACH
Import Fill	CUYD
Export	CUYD
Out To Fill Site to Grade	CUYDS
Grade of Site	SQFT
Out and Maintain Sediment Pond Erosion Control Stage 1	CUYD
Temporary Diversion Ditch Erosion Control Stage 1	LNFT
Rip Rap	TONS
Inlet Protection	EACH
Silt Fence	LNFT
SCM Baffels	LNFT
Concrete Washout (Maintain)	EACH
Temporary Storm Drain Line (Assumed 12" HDPE)	LNFT

EARTHWORK

02B: Earthwork	SUB
Mobilization	EACH
Survey & Layout	LPSM
Construction Entrance	EACH
Truck Wash Station	EACH
Import Fill	CUYD
Out to Fill Site to Grade	CUYD
Grade of Site	SQFT
Cut and Maintain Sediment Pond Erosion Control Stage 1	CUYD
Expansion of Sediment Pond Erosion Control Stage 2	CUYD
Temporary Diversion Ditch Stage 2	LNFT
Inlet Protection	EACH
Silt Fence	LNFT
SCM Baffels	LNFT
Skimmer to Drain to Storm Connection at Sediment Pond	EACH
Adjust Riser Gate to Sediment Pond Elevation	EACH
Adjust Riser Gate to Sediment Pond Overflow Elevation	EACH
Temporary Storm Drain Line at Sediment Pond (Assume	LNFT

Cleveland County Justice Center



SITE UTILITIES

02D: Site Utilities	SUB
STORM	
Junction Box	EACH
Catch Basin	EACH
Drain Inlet	EACH
Drain Inlet Connection to Retaining Wall Foundation	EACH
Connect to Existing Storm Drain Box	EACH
Storm Drain Cleanout	EACH
Storm Drain Headwall	EACH
6" PVC Storm Drain Line	LNFT
8" PVC Storm Drain Line	LNFT
10" SDR35 PVC Storm Drain Line	LNFT
12" PVC Storm Drain Line	LNFT
8" HDPE Storm Drain Line	LNFT
12" HDPE Storm Drain Line	LNFT
15" HDPE Storm Drain Line	LNFT
Untagged Storm Drain Line (Assumed 15" HDPE)	LNFT
18" HDPE Storm Drain Line	LNFT
12" RCP Storm Drain Line	LNFT
15" RCP Storm Drain Line	LNFT
Untagged Storm Drain Line (Assumed 15" RCP)	LNFT
18" RCP Storm Drain Line	LNFT
Water/Sewer	
6" Domestic Meter	EACH
4" Domestic Meter	EACH
3" Domestic Meter	EACH
Wet Tap	EACH
Gate Valves	EACH
Reducers	LPSM
Fire Hydrant	EACH
FDC	EACH
6" PVC Water Line	LNFT
6" Ductile Iron Waterline	LNFT
3" PVC Water Line	LNFT
8" Ductile Iron Waterline	LNFT
Untagged Water Line assumed 8" Ductile Iron Water Line	LNFT
Sanitary Sewer Cleanout	EACH
Tie Into Existing Sewer Manhole	EACH
Sanitary Manhole	EACH
6" SDR35 PVC Sanitary Sewer Line	LNFT
8" SDR35 PVC Sanitary Sewer Line	LNFT
4" SDR35 PVC Sanitary Sewer Line	LNFT
Site Electrical	Allowance
Gas Line	LNFT
Tie into Existing Gas Line	EACH

SITE UTILITIES

02D: Site Utilities	SUB
STORM	
Remove Frames and Covers prior to filling existing Sewer	EACH
Existing Storm Sewer to be Abandoned and filled with fl	LNFT
Demo of existing Catch Basin	EACH
Demo of Existing Junction Box	EACH
Junction Box	EACH
Catch Basin	EACH
Drain Inlet	EACH
Connect to Existing Storm Drain Box	EACH
Storm Drain Cleanout	EACH
6" PVC Storm Drain Line	LNFT
10" SDR35 PVC Storm Drain Line	LNFT
15" HDPE Storm Drain Line	LNFT
Untagged Storm Drain Line (Assumed 12" HDPE)	LNFT
18" HDPE Storm Drain Line	LNFT
24" HDPE Storm Drain Line	LNFT
36" HDPE Storm Drain Line	LNFT
15" RCP Storm Drain Line	LNFT
Untagged Storm Drain Line (Assumed 15" RCP)	LNFT
18" RCP Storm Drain Line	LNFT
24" RCP Storm Drain Line	LNFT
30" RCP Storm Drain Line	LNFT
36" RCP Storm Drain Line	LNFT
Water/Sewer	
Wet Tap	EACH
6" Waterline	LNFT
Gate Valves	EACH
Fire Hydrant	EACH
Sanitary Sewer Manhole	EACH
Site Electrical	Allowance

Cleveland County Justice Center



ASPHALT

02E: Asphalt Paving	SUB
Asphalt Mobilizations	EACH
Widening Juan St.	SF
3" Heavy Duty Asphalt Paving	SQYD
6" ABC Stone Underlayment	CUYD
2" Light Duty Asphalt Paving	SQYD
6" ABC Stone Underlayment	CUYD

PAVEMENT MARKINGS

02F: Pavement Markings	SUB
Stop Sign	EACH
ADA Signage	EACH
Do Not Enter Signage	EACH
Unkown Parking Signage	EACH
Directional Arrow Stripping	EACH
One Way Stripping	EACH
Parking Stripping	LNFT
Cross walk Stripping	LNFT
Stop Bar Stripping	LNFT

FENCING & GATES

02I: Fencing & Gates	SUB
12' Hlgh Perimeter Security Fencing	LNFT
New Security Fence Sliding Gate	EACH
Security Fencing ontop of Retaining Wall	LNFT

SITE CONCRETE

02Z: Site Concrete	SUB
Intercom Pedestal footing	EACH
Grade Beam under Gate	LNFT
Gate Operator Concrete Pad	EACH
24" Concrete Curb and Spill Gutter	LNFT
24" Concrete Curb and Standard Gutter	LNFT
Rolled Curb	LNFT
True Grid Pro Paving System w/Grass Infill	SQFT
Tactile ADA Inset	EACH
Assumed Barrier Curb	LNFT
Heavy Duty Concrete Sidewalk	SQFT
Concrete Sidewalk	SQFT
Retaining Wall with Finish to match adjacent building fini	LNFT

ASPHALT

02E: Asphalt Paving	SUB
2" Light Duty Asphalt Paving	TONS
6" ABC Stone Underlayment	CUYD

PAVEMENT MARKINGS

02F: Pavement Markings	SUB
Parking Stripping	LNFT
Cross Walk Stripping	LNFT
Stop Bar Stripping	LNFT
Directional Arrows	EACH
Do Not Enter Signs	EACH
Stop Signs	EACH
ADA Signage	EACH

SITE CONCRETE

02Z: Site Concrete	SUB
24" Concrete Curb and Spill Gutter	LNFT
24" Concrete Curb and Standard Gutter	LNFT
Flat Curb at Crosswalk	LNFT
Concrete Sidewalk	SQFT
Concrete Stair	SQFT
Tactile ADA Inset at Ramps	EACH
Tactile ADA Insert At Cross Walk	SQFT
Concrete Pavers	SQFT
Concrete Paver at Crosswalk (Vehicular)	SQFT
Base Under Pavers (Assumed 6" ABC Stone)	SQFT



Cleveland County Justice Center

Allowances:

All of the below allowances shall be INCLUDED in the subcontractor's total bid amount.

1. Pedestrian scaffold & ramp for 2A move-in – \$60,000
2. 16 Light Pole Base. Light Poles 14ft tall – \$24,000
3. Site Retaining Wall #2 and #3 - \$375,000
4. Miscellaneous Demo, Grading, backfill - \$150,000
5. Prefabricated Railing on top of Graham Street Wall - \$50,000 Addendum 3

Alternates:

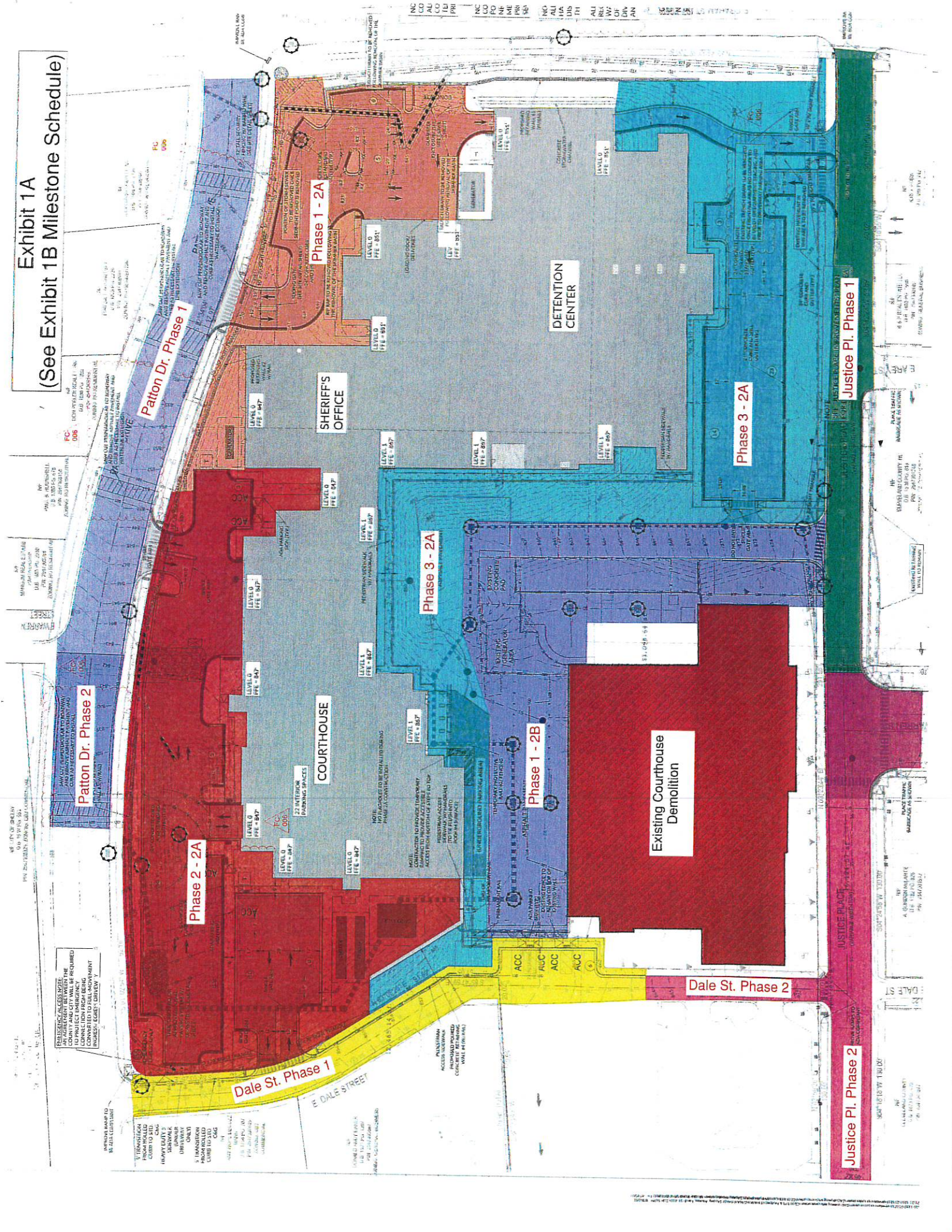
1. Dale St. Phase I & II completed as per Justice Place plans and specs.
2. Justice Place Phase II to East Marion St. as per Phase I plans and specs.
3. Marion St. completed as per Justice Place plans & specs.
4. Per Exhibit #7 – Hardscaping Improvements – Include the removal and replacement of sidewalks.
5. Include Street Sweeper rental (SWEEPER CONSTRUCTION RIDE ON 3 WHEEL Make: LAYMOR Model: SM300, either this model or similar) for 14 months.

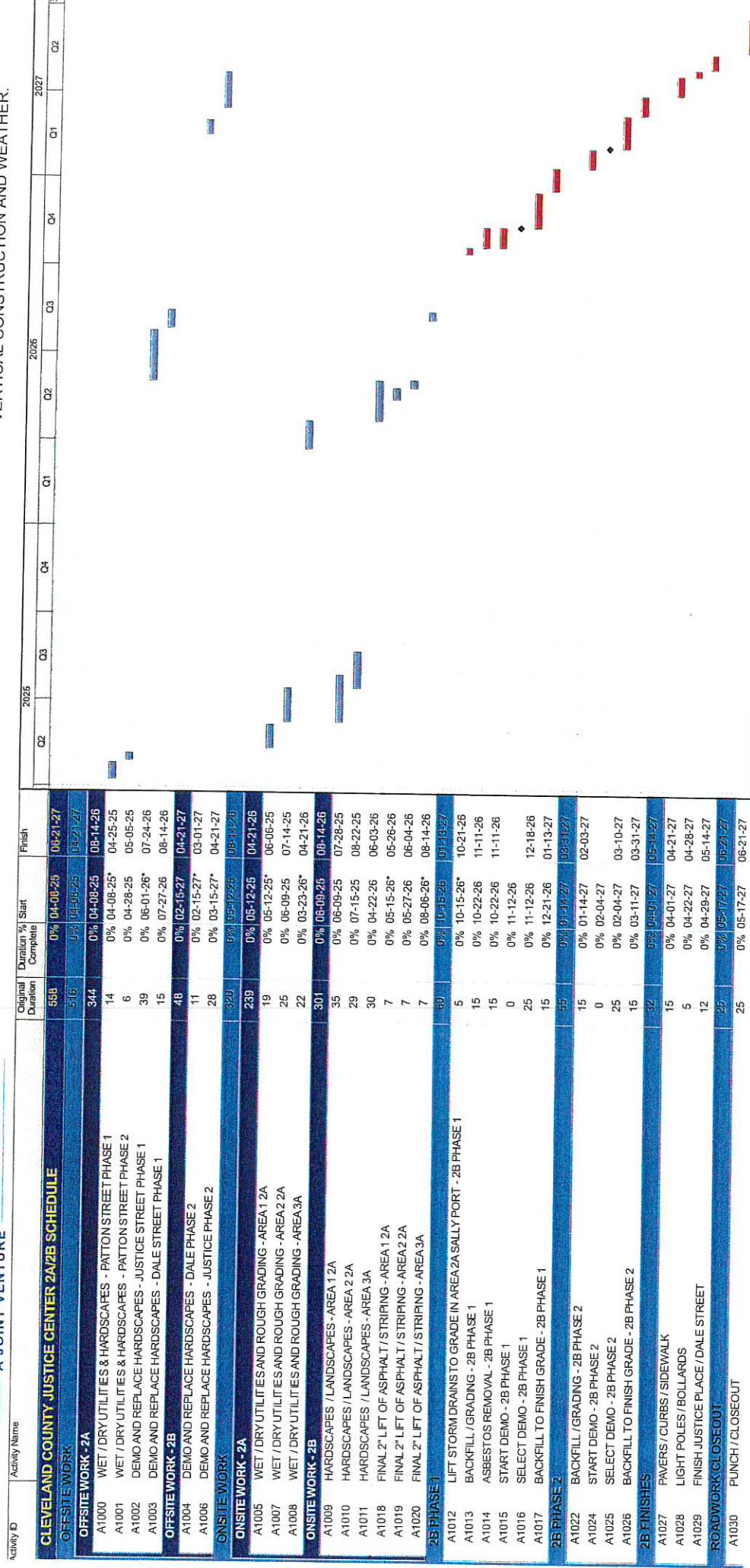
H. DESCRIPTION OF SCOPE EXCLUSIONS:

The following is a complete and exhaustive list of exclusions from the Scope of Work:

1. Building Permit
2. Soil Testing
3. Termite Control
4. Site Electrical
5. Landscape & Site Amenities
6. Demo of Existing Building, Existing Site Walls, or Utility Pads
7. Bollard, Railing, Misc Site Metal, Awnings

Exhibit 1A
(See Exhibit 1B Milestone Schedule)

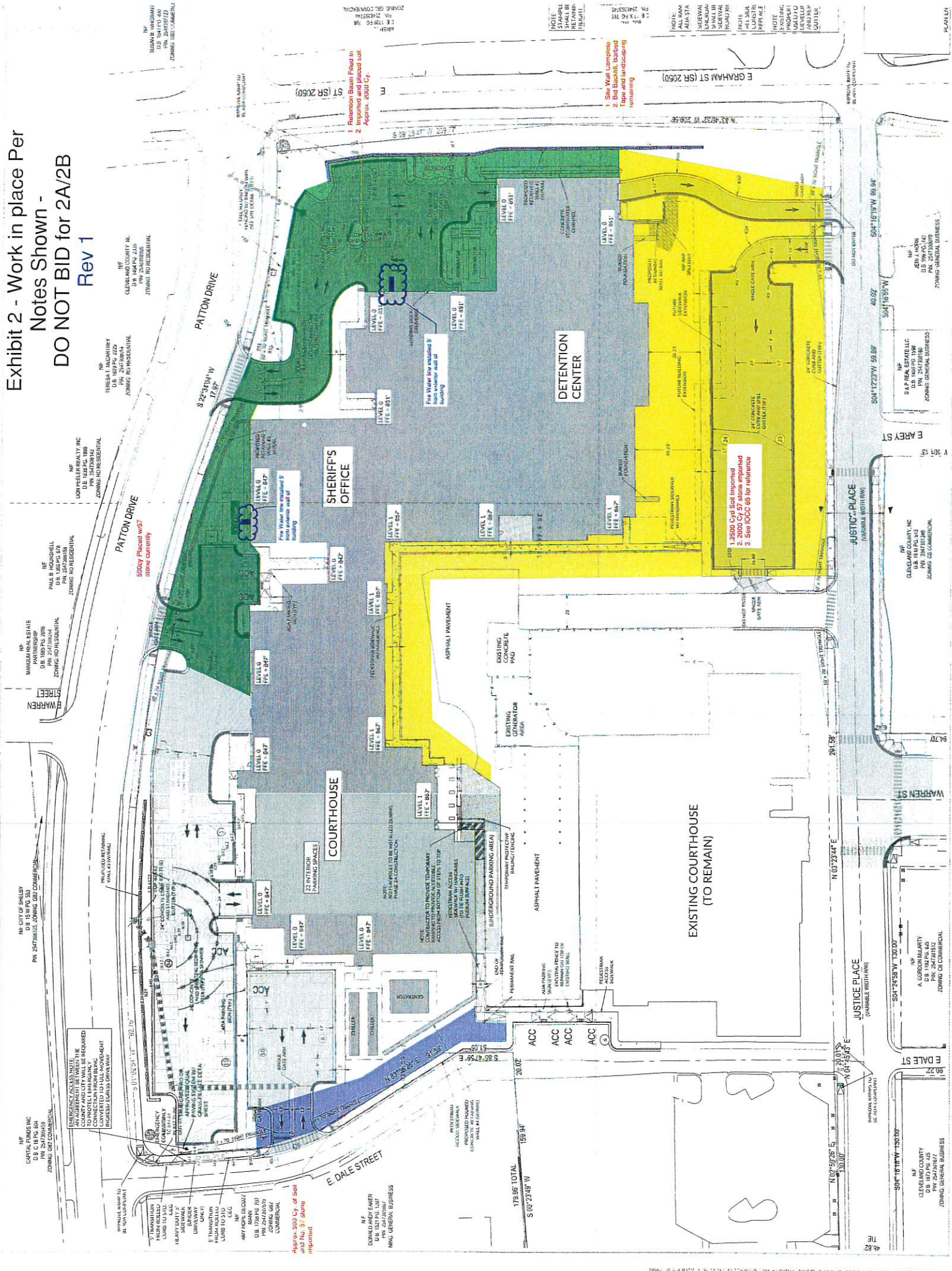




Site logistics plan for vertical construction - 2A Civil Exhibit 1C



Exhibit 2 - Work in place Per Notes Shown - DO NOT BID for 2A/2B Rev 1



Items of Change/Clarifications

PROJECT: Cleveland County Courthouse

IOCC # 65

DATE: 10.22.2024

REF DRAWING #/ SPEC #: Detention Center #57 and Landfill (Phase 1B - 2A)

BRIEF DESCRIPTION OF CHANGE:

APPROXIMATE COST ESTIMATE: \$

IS PRICING REQUIRED DUE TO CHANGE? Yes

AFFECTED TRADES:

IS SCHEDULE AFFECTED? TBD IF YES, BY HOW MUCH?

WHAT CAUSED CHANGE?

DETAILED DESCRIPTION OF CHANGE:

Grading sub provided a hourly rate for the scope of work to place #57 stone and dirt behind the foundation walls. He also provided a ROM that we are running through Sterling Construction. Yates Metcon will manage the tickets and it will be billed against this line. Once the work is done it will be reconciled. #57 stone for the job will be directly billed to the county. This is part of Phase 2A and will be deleted from Phase 2 when it goes to bid.

*Note: Yates retains its pricing rights and schedule rights. Approval is required in five business days, otherwise there is the cost per day in GC's and time extension to the schedule.

OWNER

DAVID B. GOTTON
print name

Signature:

[Signature]

Date: 11/14/24

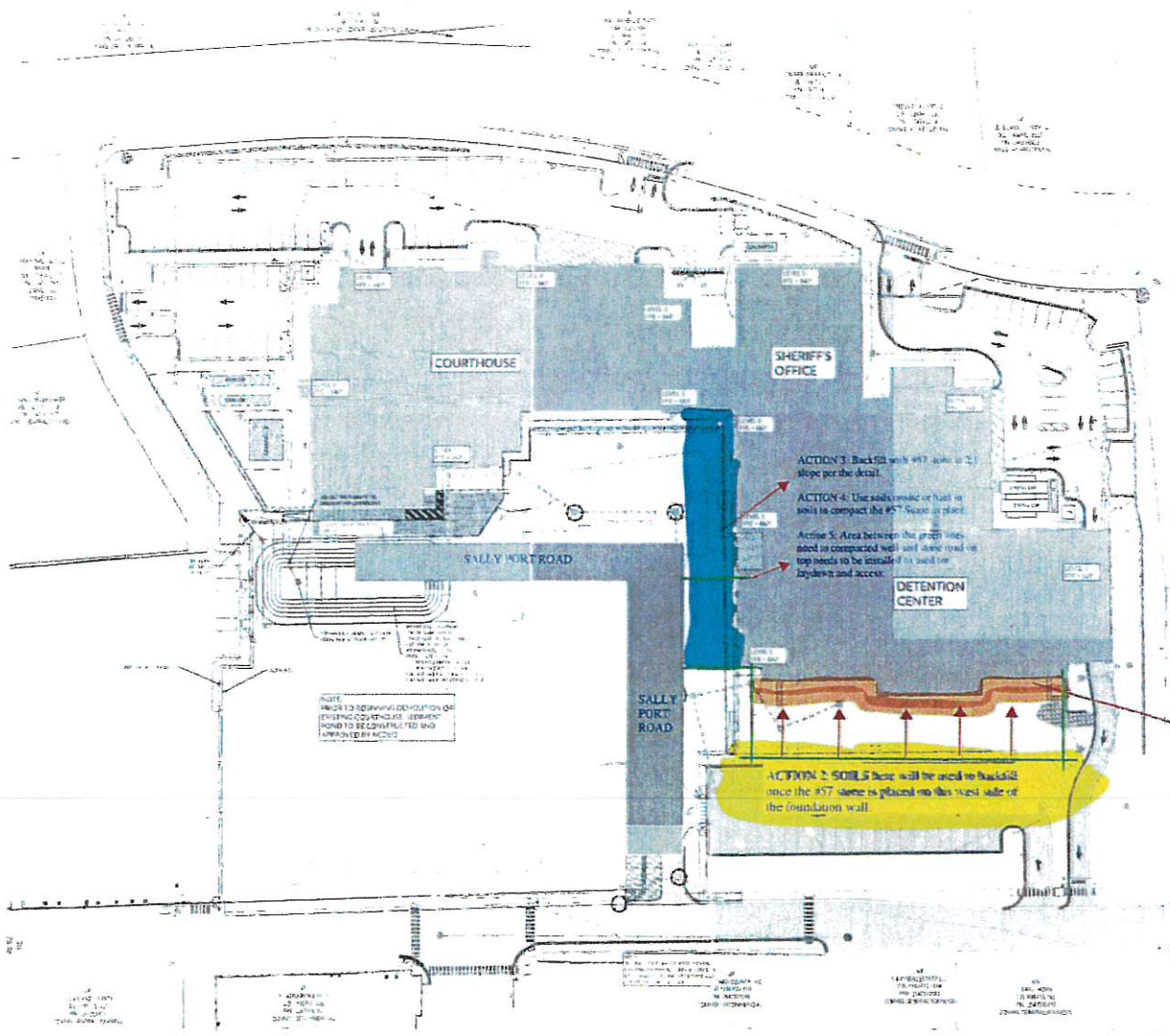
Architect

MOSELEY ARCHITECTS - PAUL LUZIER
print name

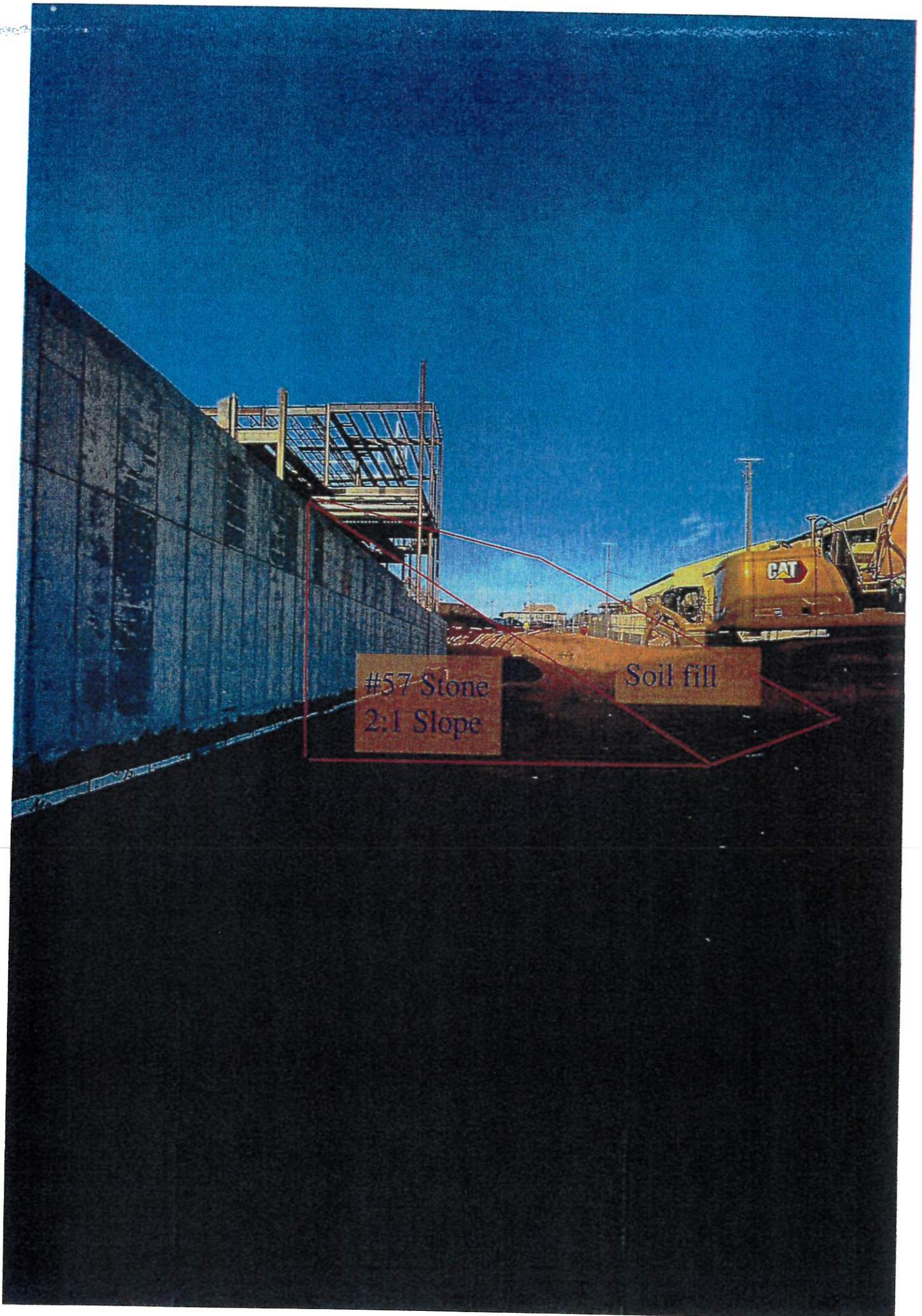
Signature:

[Signature]

Date: 11/13/24



DATE: 11/11/2011
 DRAWN BY: J. B. WITHERS
 CHECKED BY: J. B. WITHERS
 PROJECT NO.: 11-001
 SHEET NO.: 1 OF 1



#57 Stone
2:1 Slope

Soil fill



1 feet of #57
Stone for the
height of the
wall

BACKFILL

CLEVELAND COUNTY JUSTICE CENTER - #57 Stone Backfill and Stabilizing jobsite

Scope of work:

A. WEST SIDE OF DETENTION CENTER: (LAWNDALE)

1. **Backfill with #57 Stone:** Once the waterproofing is done, backfill the west side of the Detention Center with #57 Stone. This should be done for 1 foot off the concrete wall to the height of the wall (16 feet).
2. **Backfill with Onsite Soil:** Concurrently with the #57 Stone backfill, use onsite soil to backfill the west side of the project. This will help hold the stone in place and should be brought level with the foundation wall.

NORTH SIDE OF DETENTION CENTER (KERNS STONE, LAWNDALE SOILS)

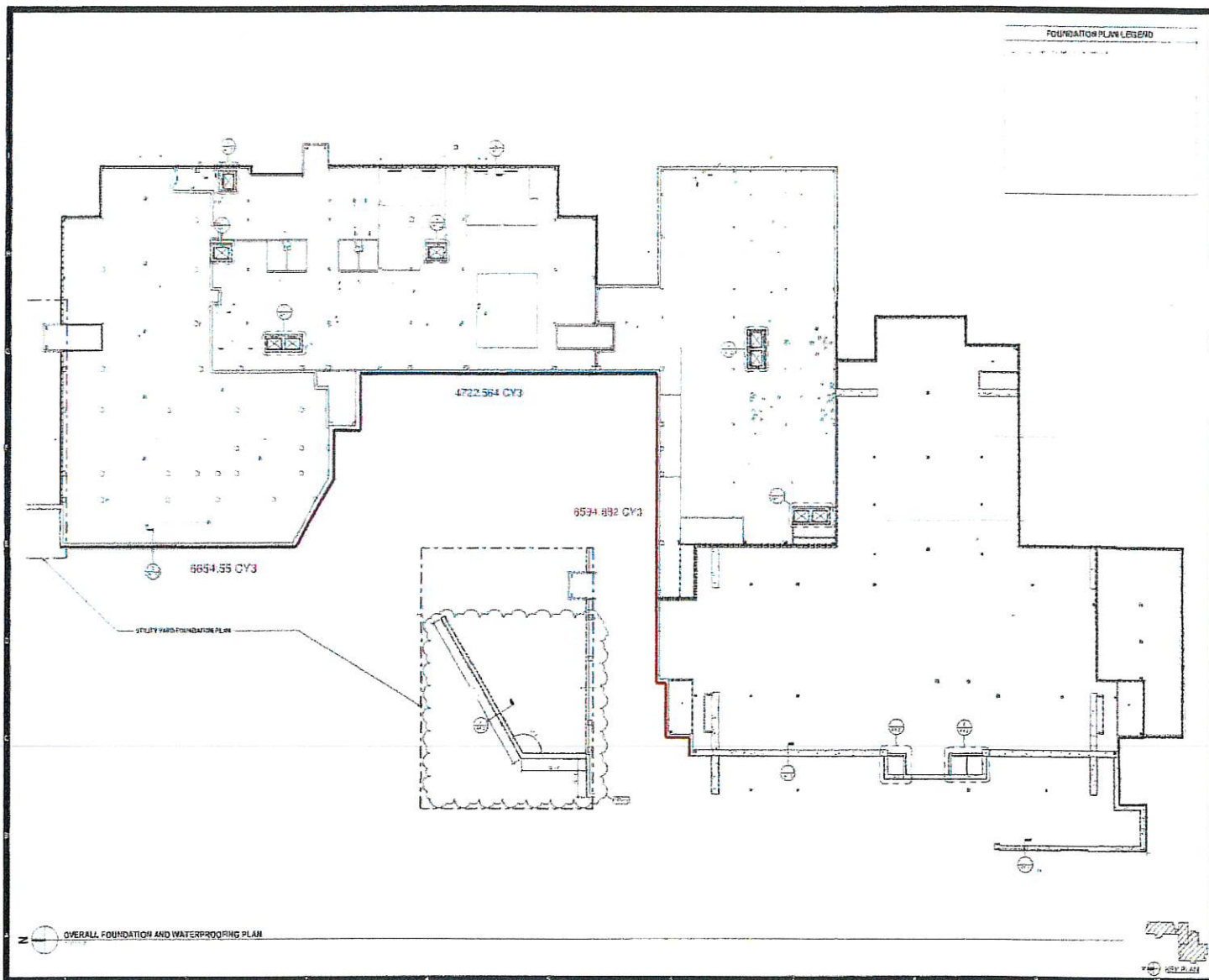
1. **Backfill with #57 Stone:** Backfill the north side with #57 stone at a 2:1 slope according to the provided detail.
2. **Compact with Onsite or Hauled Soils:** Use soils from the Graham Street Shoring wall excavation or haul in soils to compact the #57 stone in place as per the detail.
3. **Install Stone Road:** Install a stone road on top for laydown and access to the jail cells on the northern side, extending 35 feet from the northwest edge.
4. **Maintain Sally Port Operation:** Ensure the sally port remains active for ongoing operations.

GRADING AND EXCAVATION of GRAHAM STREET

1. Grading and Excavation for 7 feet Bench Road at Graham Street Shoring.
2. Excavation and Relocation of soil to grade retention pond per plan C9.00 and C5.00

Quantity for the stone:

North side of Detention: 6600 Cubic Yard of #57 stone.



FOUNDATION PLAN LEGEND	
1	FOOTING
2	WALL
3	SLAB
4	RAIL
5	STAIR
6	ELEVATOR
7	MECHANICAL
8	ELECTRICAL
9	PLUMBING
10	HEATING
11	Cooling
12	Other

MOSELEY ARCHITECTS

FOUNDATION PLAN ONLY

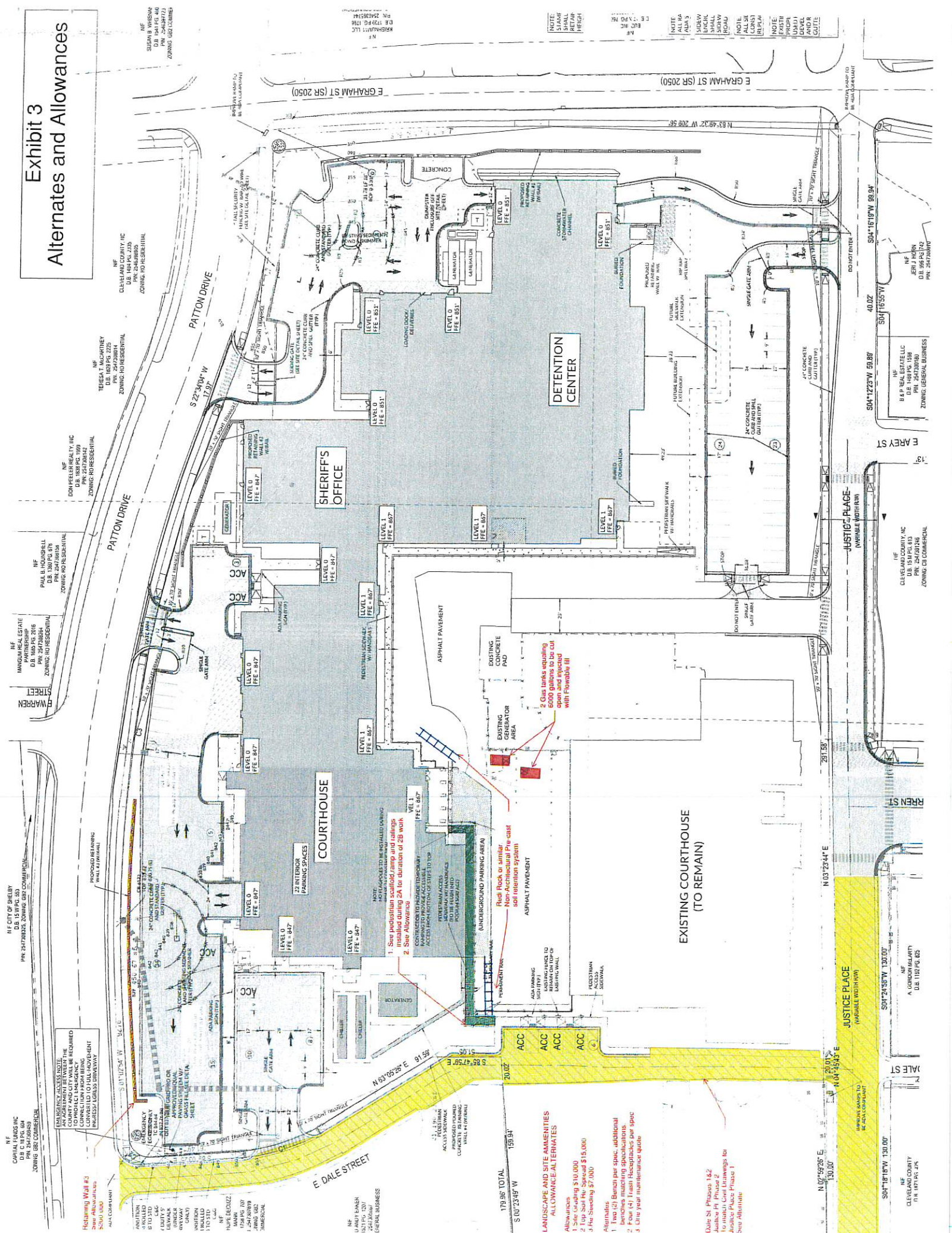
CLEVELAND CO JUSTICE FACILITY

OVERALL FACILITY

OVERALL FOUNDATION AND WATERPROOFING PLAN

A'

Exhibit 3 Alternates and Allowances



- LANDSCAPE AND SITE AMENITIES ALLOWANCE ALTERNATES**
- Allowances
- 1 Site Grading \$10,000
 - 2 Top Soil Per Spread \$15,000
 - 3 Tree Seedling \$7,000
- Alternates
- 1 Two (2) Benches per spec, additional benches matching specifications
 - 2 Four (4) Trash Receptacles per spec
 - 3 One year maintenance quote

Dale St Phases 1&2
Justice Pl Phase 2
Justice Pl Phase 3
Justice Pl Phase 4
Justice Pl Phase 5
Justice Pl Phase 6
Justice Pl Phase 7
Justice Pl Phase 8
Justice Pl Phase 9
Justice Pl Phase 10
Justice Pl Phase 11
Justice Pl Phase 12
Justice Pl Phase 13
Justice Pl Phase 14
Justice Pl Phase 15
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Justice Pl Phase 92
Justice Pl Phase 93
Justice Pl Phase 94
Justice Pl Phase 95
Justice Pl Phase 96
Justice Pl Phase 97
Justice Pl Phase 98
Justice Pl Phase 99
Justice Pl Phase 100

Exhibit 4



WithersRavenel
115 BlackKerman Drive | Cary, NC 27513
Phone: 919.469.2347 | Fax: 919.469.2348 | www.withersravenel.com



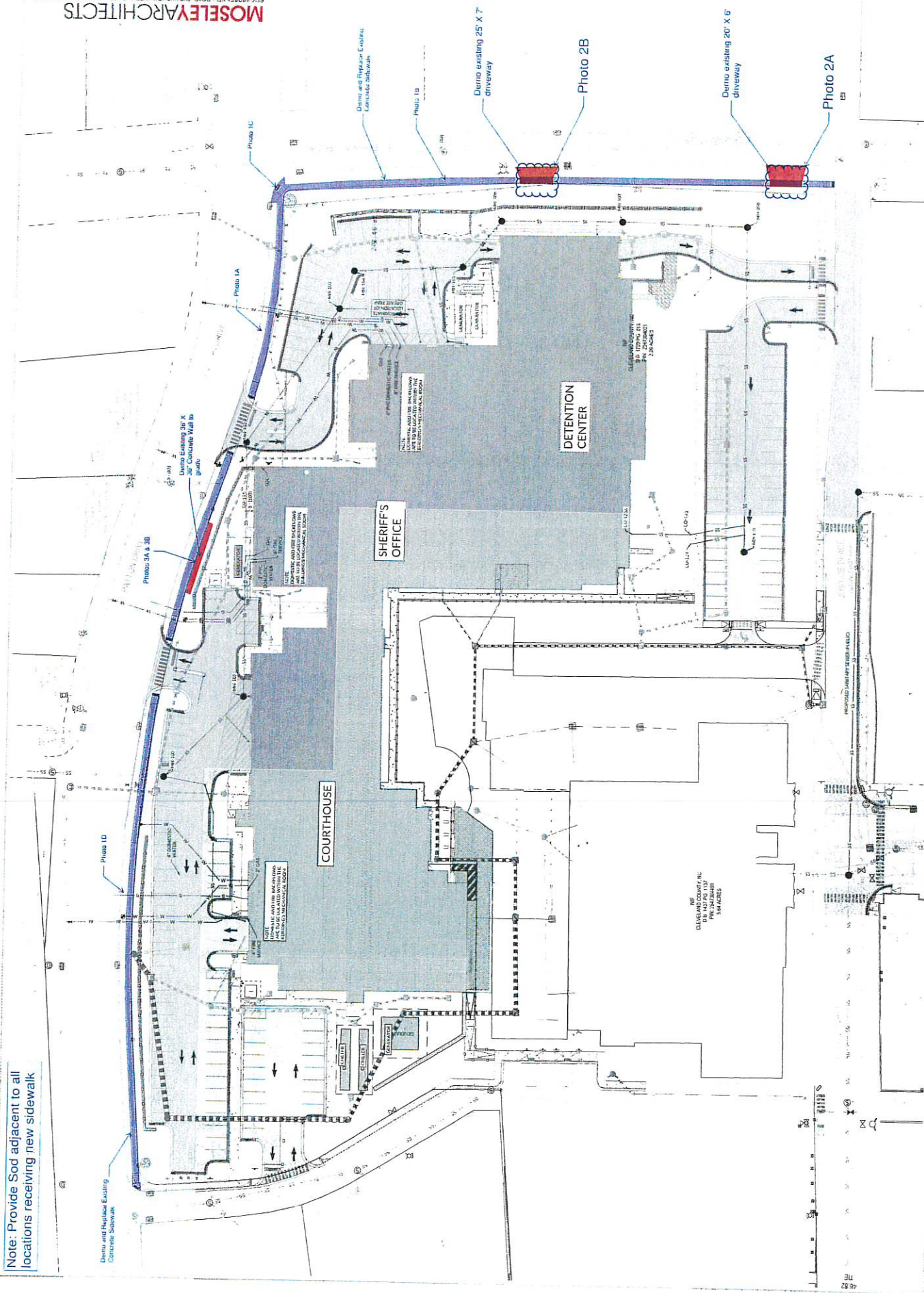
CONSTRUCTION DRAWINGS PHASE 1 for
CLEVELAND COUNTY
JUSTICE CENTER

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Daniel D. Burton
2015
DALE D. BURTON
INVENTOR
JAN 22 2015
U.S. PAT. & TM. OFF.
PHILADELPHIA, PA.

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**OVERALL UTILITY
PLAN (PHASE 2A)**

C4.00



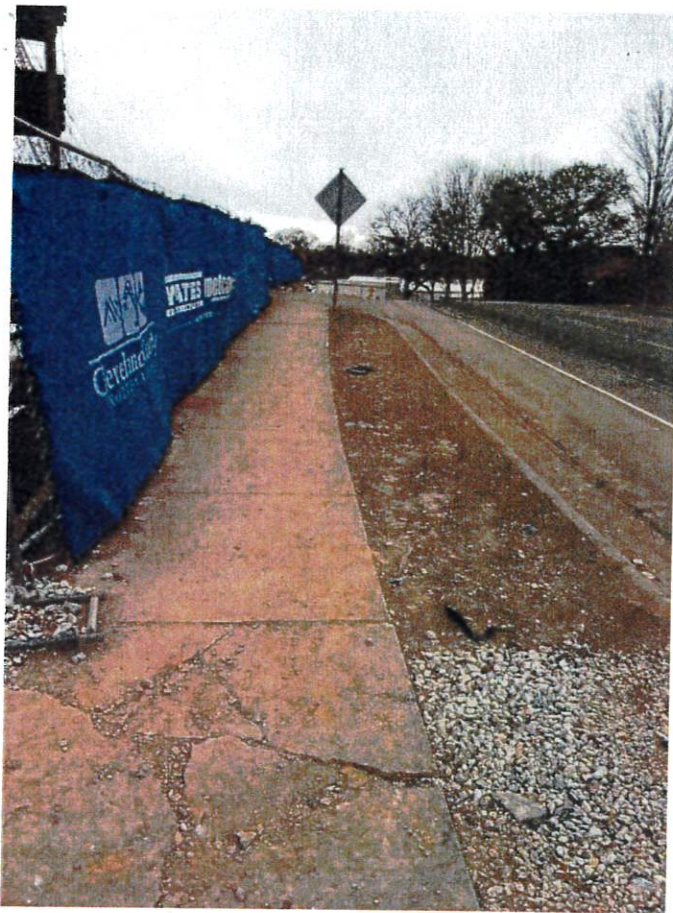


IMAGE 1A



IMAGE 1B

The sitework subcontractor to remove and replace the sidewalk per the hard scaping plan. The landscaping subcontractor to replace the sod adjacent to the sidewalk.



IMAGE 1C



IMAGE 1D

The sitework subcontractor to remove and replace the sidewalk per the hard scaping plan. The

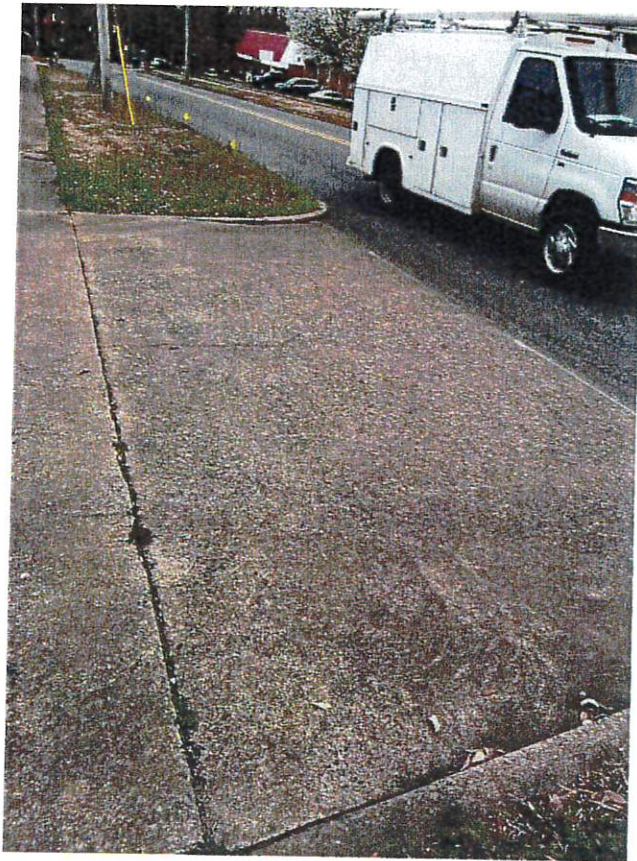


IMAGE 2A : SITEWORK SUB TO REMOVE EXISTING DRIVEWAY. LANDSCAPING SUB replace it with SOD. REFER to the Additional Hardscaping plan for location

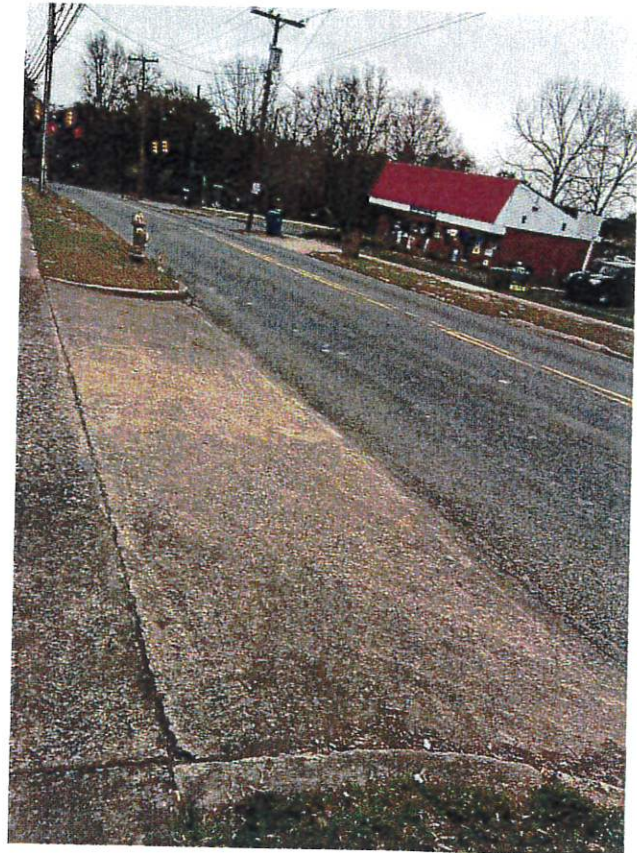


IMAGE 2B : SITEWORK SUB TO REMOVE EXISTING DRIVEWAY. LANDSCAPING SUB replace it with SOD. REFER to the Additional Hardscaping plan for location

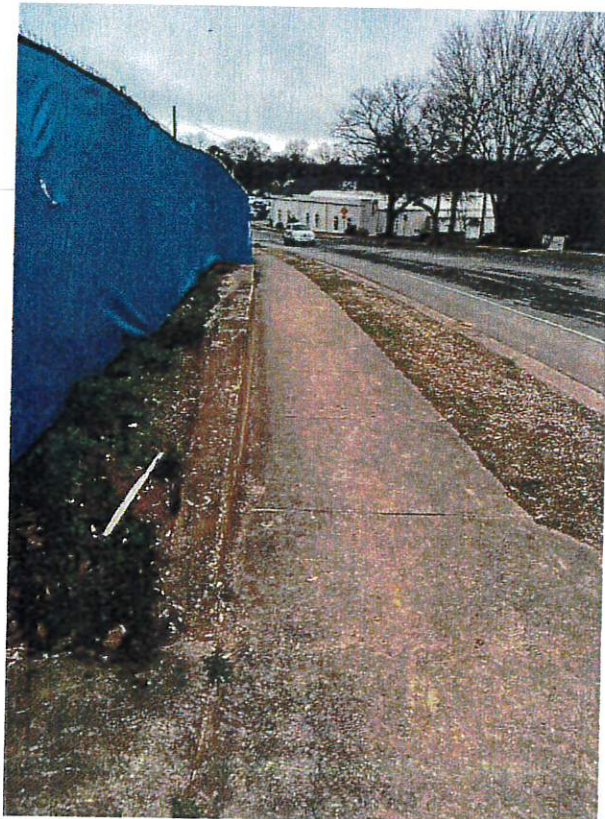


IMAGE 3A: Sitework sub to remove the wall. Image 3B has a side view

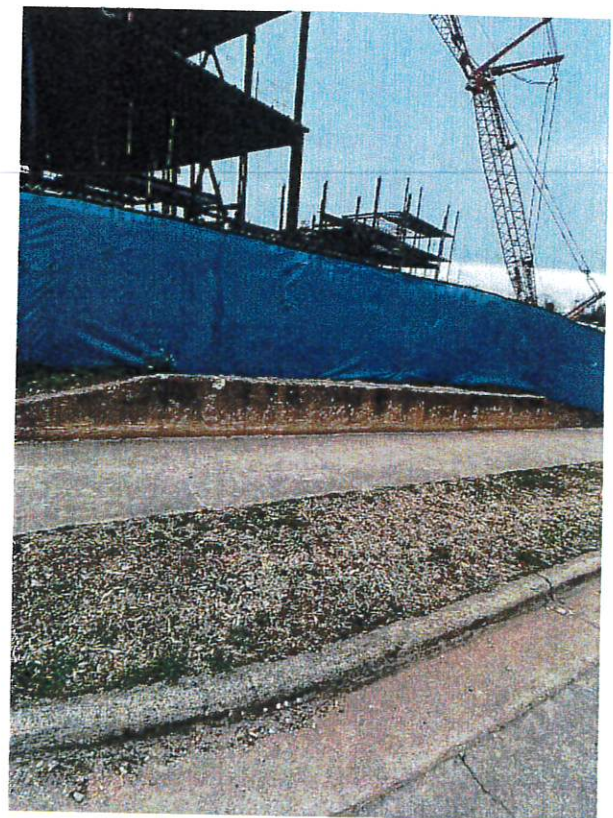
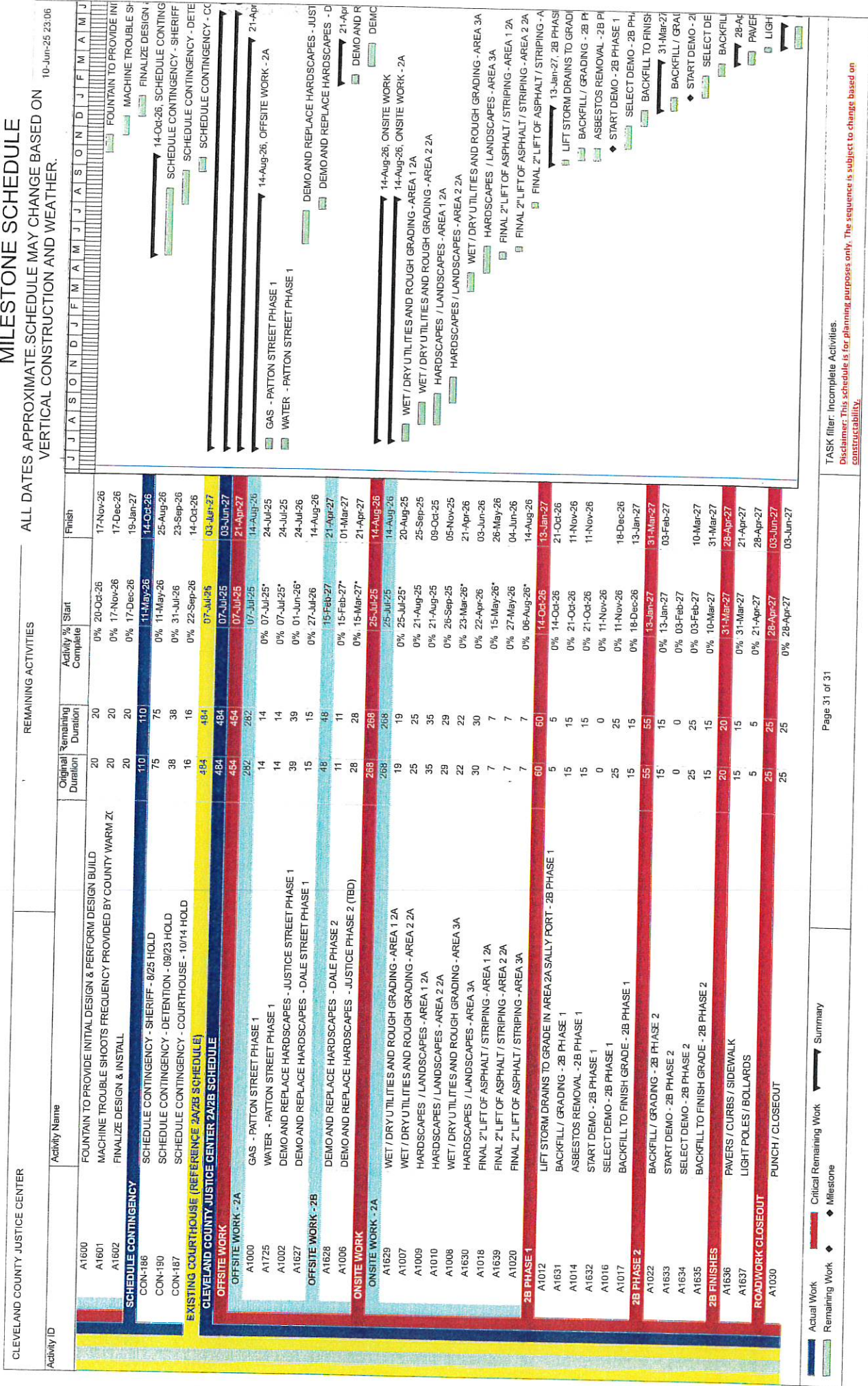


IMAGE 3B: Sitework sub to remove the wall.

MILESTONE SCHEDULE

ALL DATES APPROXIMATE. SCHEDULE MAY CHANGE BASED ON VERTICAL CONSTRUCTION AND WEATHER.



TASK filter: Incomplete Activities.
Disclaimer: This schedule is for planning purposes only. The sequence is subject to change based on constructability.

Cleveland County – Shelby, NC

Cleveland County Justice Center – Rev: 6.10.2025

Phase 2A/2B CLARIFICATIONS AND ASSUMPTIONS

(the “Estimate Assumptions”)

The Phase 2A/2B CLARIFICATIONS AND ASSUMPTIONS form the basis of the price proposed by Yates-Metcon, A Joint Venture (“Yates-Metcon” or “Construction Manager”) to Cleveland County (“Owner”) for Cleveland County Justice Center (“Project”). These assumptions and clarifications are aligned with the **GMP Clarifications and Assumptions** dated **April 23, 2024** in addition to the items below.

Proposal is based on the documents referenced in the attached Drawing Log and the Specification Log.

Cost for taping water and sewer lines that are outside of the project limits and shown in the plans and specifications are included as part of the Phase 2 Site Work.

BOND:

Proposal includes Contractor’s standard form payment and performance bond.

ALLOWANCES, CONTINGENCY, BILLING:

Allowances include the cost of all items related to a specific scope of work. Construction Manager makes no representation as to the accuracy or adequacy of any allowance amounts. Any Owner mandated or otherwise designated subcontractor shall be treated as an allowance. With respect to each such allowance item, Construction Manager price shall be adjusted for the difference between (1) the stated allowance amount and (2) allowance related costs incurred (including, but not limited to, material, including waste, components, taxes, delivery, installation, bond, general conditions, overhead) plus profit/markup for the allowance item.

Proposal includes a Construction Manager-controlled contingency to be used at Construction Managers sole discretion at 3% of the cost of the work in accordance with the contract.

SCHEDULE:

Proposal assumes a mutually agreed upon construction schedule. The Proposal assumes a readily available workforce and an uninterrupted supply of material and equipment. Schedule is based on fifty-six calendar days of bad weather which includes rain days, snow,

Cleveland County – Shelby, NC

Cleveland County Justice Center – Rev: 6.10.2025

Phase 2A/2B CLARIFICATIONS AND ASSUMPTIONS

(the “Estimate Assumptions”)

and freezing weather per year and any days in excess of this number shall entitle the Contractor to an extension of time.

RESPONSIBILITY FOR DESIGN:

Proposal assumes not utilizing Building Information Modeling (BIM) for Phase 2A/2B work.

ESCALATION AND MARKET CONDITION PRICING RISK

Pricing is based on today’s market pricing and the stipulated escalation allowance. Due to the unpredictability of the market and the uncertainty surrounding tariffs, current estimates for material and equipment costs—as well as lead times—are subject to significant fluctuations and potential delays, depending on prevailing market conditions.

DIVISION 02

Proposal includes the following Scopes of Work as part of Phase 2A/2B per the civil drawings:

- Phase 2 Demolition – Refer to IOCC 95 and OCO 20.
- Phase 2 Earthwork – Refer to IOCC 102 and OCO 21.
- Phase 2 Utilities - Refer to IOCC 102 and OCO 21.
- Phase 2 Asphalt Paving - Refer to IOCC 102 and OCO 21.
- Phase 2 Pavement Markings - Refer to IOCC 102 and OCO 21.
- Phase 2 Landscaping and Irrigation - Refer to IOCC 103.
- Phase 2 Fencing & Gates - Refer to IOCC 102 and OCO 21.
- Phase 2 Miscellaneous Site Improvements - Refer to IOCC 102 and OCO 21.
- Phase 2 Site Concrete - Refer to IOCC 102 and OCO 21.

Proposal assumes that the Contractor shall not be responsible for any costs or liability for the investigation, detection, reporting, removal, remediation, abatement and/or any other adverse consequences or effects of harmful, toxic, deleterious, unsuitable, or hazardous substances or materials, contaminants, or pollutants. The proposal does include an allowance for asbestos abatement in the existing courthouse that may be identified by others.

Proposal excludes all permits and fees. Proposal assumes that the Owner shall secure and pay for the necessary permits, approvals, easements, neighboring property rights

Cleveland County – Shelby, NC

Cleveland County Justice Center – Rev: 6.10.2025

Phase 2A/2B CLARIFICATIONS AND ASSUMPTIONS

(the “Estimate Assumptions”)

(including air rights), fees (inspection, tap, impact, utility service, hook-up, etc.), assessments, deposits, and charges required for the Project.

The Owner will be responsible for purchasing all utility-required meters, vaults, and related materials necessary for utility connections to the buildings, including coverage of monthly billing costs.

Allowance Log

1. Parking Equipment Allowance	\$ 80,000.00
2. Gas Connection Allowance	\$ 50,000.00
3. Brick Paver Allowance	\$ 270,000.00
4. Street Sweeper Allowance	\$ 35,000.00
5. Reseeding	\$ 7,000.00
6. Top Soil Respread	\$ 15,000.00
7. Fine Grading	\$ 10,000.00
8. Trash Receptacles Allowance	\$ 6,000.00
9. Flag Pole Allowance	\$ 8,400.00
10. Bike Rack Allowance	\$ 4,000.00

COUNTY OF CLEVELAND, NORTH CAROLINA

AGENDA ITEM SUMMARY

Conveyance of Land to Cleveland County Volunteer Fire Department

Department: Legal Department

Agenda Title: Conveyance of Land to Cleveland County Volunteer Fire Department

Agenda Summary:

Proposed Action:

ATTACHMENTS:

File Name	Description
<input type="checkbox"/> staff_report_-_Conveyance_for_CVFD.docx	Staff Report
<input type="checkbox"/> Draft_Resolution_Conveyance_for_Cleveland_VFD.pdf	Draft Resolution
<input type="checkbox"/> CVFD_paralegal_2025-06-05-16-01-05.pdf	Survey
<input type="checkbox"/> CVD_2025-06-05-16-00-50.pdf	NCGS
<input type="checkbox"/> Draft_Warranty_Deed.pdf	Draft Warranty Deed

Staff Report

From: Christie Wooten, County Paralegal
To: Board of County Commissioners and David Cotton, County Manager
Re: Conveyance of land to Cleveland County VFD
Date: June 5, 2025

Summary:

Cleveland County VFD seeks County-owned land for the construction of a new fire station, at Polkville Road.

Review:

Cleveland County owns a 5.768-acre tract of land along Polkville Road, as described by way of recorded plat, Plat Book 51, Page 7-7 (1). The property is vacant.

North Carolina General Statute § 160A-277 (applicable to counties by NCGS § 153A-176) authorizes a county to convey real property by private conveyance to a volunteer fire department upon such terms and conditions as it deems wise, with or without monetary consideration any land or interest in land, for the purpose of constructing or expanding its fire department, if the volunteer fire department provides fire protection services to the county.

Cleveland County Volunteer Fire Department, (Cleveland County VFD) is a nonprofit incorporated fire department which provides fire protection services to the residents of Cleveland County and is in need of the property to construct a structure to house a fire station on the property, and upon completion of construction to open a fire station. The operation of a fire station at this location will benefit the citizens of Cleveland County in providing better fire protection and related services with a state-of-the-art facility and a better location along Polkville Road.

The Commissioners may so convey by Resolution at a regular meeting, upon 10 days' public notice describing the property to be conveyed, stating the value of the property, the proposed monetary consideration or lack thereof, and the intent to authorize the conveyance. Requisite Notice is being duly published in the Shelby Star.

Conveyance without monetary consideration would benefit the citizens of the County. The following deed restrictions are recommended:

1. Cleveland County VFD will operate a Volunteer Fire Station from that location.
2. Property reverts if ceases to operate as a fire station within 25 years.

Attachments:

- (1) Notice published.
- (2) Resolution with survey attached.
- (3) Proposed deed with survey attached.
- (4) Relevant Statutes

Action requested: Adopt the resolution authorizing the conveyance to Cleveland County VFD.

**Resolution Approving Conveyance of Property to
Cleveland County Volunteer Fire Department
Pursuant to G.S. 160A-277**

WHEREAS, Cleveland County, North Carolina (County) owns a 5.768-acre tract of land along Polkville Road, as described by way of recorded plat shown in Exhibit A (attached); and

WHEREAS, North Carolina General Statute § 160A-277 (applicable to counties by NCGS § 153A-176) authorizes a county to convey real property by private conveyance to a volunteer fire department upon such terms and conditions as it deems wise, with or without monetary consideration any land or interest in land, for the purpose of constructing or expanding its fire department, if the volunteer fire department provides fire protection services to the county; and

WHEREAS, the Commissioners may so convey by Resolution at a regular meeting, upon 10 days' public notice describing the property to be conveyed, stating the value of the properties, the proposed monetary consideration or lack thereof, and the intent to authorize the conveyance; and

WHEREAS, Cleveland County Volunteer Fire Department, (Cleveland County VFD) is a nonprofit incorporated fire department which provides fire protection services to the residents of Cleveland County and is in need of the property to construct a structure to house a fire station, and upon completion of construction to open a fire station; and

WHEREAS, the operation of a fire station at this location will benefit the citizens of Cleveland County in providing better fire protection and related services with a state-of-the-art facility and a better location along Polkville Road; and

WHEREAS, the requisite notice has been duly published; and

WHEREAS, the construction and operation of a fire station facility is important to the residents of the County and the County-owned property is vacant and available; and

WHEREAS, it would be in the best interests of the citizens of Cleveland County for the property to be donated to Cleveland County VFD so long as the property is used for the stated purpose of constructing and operating a fire station for the benefit of the citizens of the county.

THEREFORE, THE CLEVELAND COUNTY BOARD OF COMMISSIONERS RESOLVES THAT:

1. The County-owned 5.768 acres of land on Polkville Road, and more particularly described in survey plat attached hereto as Exhibit A, and recorded in Book 51, Page 7 in the Cleveland County Registry of Deeds, shall be conveyed to the Cleveland County Volunteer Fire Department, without monetary consideration for the purpose of building a fire station and other structures necessary for fire

protection and related activities, as permitted by G.S. 160A-277, in fee simple;

2. The consideration for the conveyance is the following set of conditions, covenants, and restrictions, which shall be incorporated in the deed given by the county to Cleveland County VFD:
 - a. Cleveland County VFD is to construct improvements on the land being conveyed to include a fire station and other such structures as are necessary to run a fire department to benefit the citizens of Cleveland County, and more particularly the citizens in the designated fire district.
 - b. Once the construction project is complete, the Cleveland County VFD will operate a Volunteer Fire Station, for the purposes of fire protection and related services for the benefit of citizens of the county.
 - c. The deed given by the county to the 5.768-acre tract of land shall convey a title in fee simple determinable. The fee simple interest of Cleveland County VFD in the property shall terminate and revert back to the County if at any time during the next 25 years Cleveland County VFD shall cease to use the property to operate a fire station; and
3. Staff is directed to prepare, and the board chair is authorized to execute, all documents necessary to convey fee simple defeasible title under the above-stated conditions to Cleveland County Volunteer Fire Department, in keeping with G.S. 160A-277.

Adopted this the ____ day of June 2025.

Kevin Gordon, Chair
Cleveland County Board of County Commissioners

ATTEST:

Phyllis Nowlen,
Clerk to the Board of County Commissioners

EXHIBIT “A” ATTACHED

DRAFT

§ 160A-277. Sale of land to volunteer fire departments and rescue squads; procedure.

(a) A city, upon such terms and conditions as it deems wise, with or without monetary consideration may lease, sell or convey to a volunteer fire department or to a volunteer rescue squad any land or interest in land, for the purpose of constructing or expanding fire department or rescue squad facilities, if the volunteer fire department or volunteer rescue squad provides fire protection or rescue services to the city.

(b) Any lease, sale or conveyance under this section must be approved by the city council by resolution adopted at a regular meeting of the council upon 10 days' public notice. Notice shall be given by publication describing the property to be leased or sold, stating the value of the properties, the proposed monetary consideration or lack thereof, and the council's intent to authorize the lease, sale or conveyance. (1979, c. 583.)

Part 3. Disposition of County Property.

§ 153A-176. Disposition of property.

A county may dispose of any real or personal property belonging to it according to the procedures prescribed in Chapter 160A, Article 12. For purposes of this section references in Chapter 160A, Article 12, to the "city," the "council," or a specific city official are deemed to refer, respectively, to the county, the board of commissioners, and the county official who most nearly performs the same duties performed by the specified city official. For purposes of this section, references in G.S. 160A-266(c) to "one or more city officials" are deemed to refer to one or more county officials designated by the board of county commissioners. (1868, c. 20, ss. 3, 8; Code, ss. 704, 707; Rev., ss. 1310, 1318; C.S., ss. 1291, 1297; 1973, c. 822, s. 1; 1983, c. 130, s. 2.)

NORTH CAROLINA GENERAL WARRANTY DEED

Excise Tax: \$ _____

Parcel Identifier No. 67807 Verified by _____ County on the ____ day of _____, 20____
By: _____

Mail/Box to: _____

This instrument was prepared by: Jonathan Lee Sink, County Attorney, PO Box 1210, Shelby, NC 28151-1210

Brief description for the Index: _____

THIS DEED made this _____ day of _____, 2025 by and between

GRANTOR

GRANTEE

CLEVELAND COUNTY, NORTH CAROLINA
A political subdivision of the State of North Carolina
311 E. Marion Street, Suite 121
Shelby, NC 28151

CLEVELAND COUNTY VOLUNTEER FIRE
DEPARTMENT
221 E Graham Street
Shelby, NC 28150

Enter in appropriate block for each Grantor and Grantee: name, mailing address, and, if appropriate, character of entity, e.g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine, or neuter as may be required by context.

WITNESSETH, that said Grantor, have remised and released and by these presents do remise, release, grant, bargain and convey unto the Grantee and successors and assigns pursuant to North Carolina General Statute § 160A-277 all right, title, claim, and interest of the said Grantor in and to a certain tract or parcel of land lying and being in the County of Cleveland and State of North Carolina, and more particularly described as follows:

The 5.768-acre portion of parcel 28165, recorded in Plat Book 51, Page 7, together with the tenements, hereditaments, and appurtenances belonging to the property.

Restrictions: Cleveland VFD is to construct improvements on the land being conveyed to include a fire station and other such structures as are necessary to run a fire department to benefit the citizens of Cleveland County, and more particularly the citizens in the designated fire district.

Once the construction project is complete, the Cleveland VFD will operate a Volunteer Fire Department, for the purposes of fire protection and related services for the benefit of citizens of the county.

The deed given by the county to the 5.7638-acre tract of land shall convey a title in fee simple determinable. The fee simple interest of Cleveland VFD in the property shall terminate and revert back to the County if at any time during the next 25 years Cleveland VFD shall cease to use the property to operate a fire station.

No title search was requested or performed on this parcel.

All or a portion of the property herein conveyed ____ includes or X does not include the primary residence of a Grantor.

The property hereinabove described was acquired by Grantor by instrument recorded in 1802, Page 2320, Cleveland County Registry.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever, other than the following exceptions:

Rights of way and Easements of record
Municipal liens

IN WITNESS WHEREOF, the Grantor has duly executed the foregoing as of the day and year first above written.

CLERK TO THE BOARD:

Cleveland County, North Carolina

_____(SEAL)

By: _____(SEAL)

ATTEST

**Kevin Gordon, Chairman
Board of Commissioners**

State of North Carolina- County of Cleveland

I, the undersigned Notary Public of the State aforesaid, certify that Kevin Gordon personally came before me this day and acknowledged the due execution of the foregoing instrument for the purposes therein expressed.

Witness my hand and Notarial stamp or seal, this ____ day of _____, 2025.

Notary Public

My Commission Expires: 4/24/26
(Affix Seal)

Christie Harper Wooten Notary Public
Notary's Printed or Typed Name

COUNTY OF CLEVELAND, NORTH CAROLINA

AGENDA ITEM SUMMARY

Preserving Local Sales Tax Revenue for County Governments

Department: County Commissioners

Agenda Title: Preserving Local Sales Tax Revenue for County Governments

Agenda Summary:

Proposed Action:

ATTACHMENTS:

File Name	Description
<input type="checkbox"/> Draft_IN_SUPPORT_OF_PRESERVING_LOCAL_SALES_TAX_REVENUE_UNDER_ARTICLES.pdf	Draft Resolution

***SUPPORT OF PRESERVING LOCAL SALES TAX REVENUE UNDER ARTICLES
39, 40, AND 42 FOR COUNTY GOVERNMENTS***

WHEREAS, counties in North Carolina are responsible for funding a wide range of essential services including public education, public safety, emergency medical services, human services, and general government operations; and

WHEREAS, the North Carolina General Assembly has authorized counties to levy local option sales taxes under Articles 39, 40, and 42 of Chapter 105 of the North Carolina General Statutes, which together provide a critical source of revenue for counties across the state; and

WHEREAS, Article 39 authorizes counties to levy a one percent (1 %) local sales and use tax, distributed based on point of sale, which supports general county operations and helps offset reliance on the property tax; and

WHEREAS, Article 40 provides for an additional one-half percent ($\frac{1}{2}$ %) local sales and use tax, distributed on a per capita basis, with a portion required to be used for public school capital outlay and other designated purposes; and

WHEREAS, Article 42 was enacted with the stated purpose of "afford[ing] the counties and cities of this State an opportunity to obtain an added source of revenue with which to meet their growing financial needs, and to reduce their reliance on other revenues, such as the property tax and federal revenue sharing" (N.C.G.S. § 105-496); and

WHEREAS, under N.C.G.S. § 105-502(a), sixty percent (60%) of Article 42 revenue must be used for public school capital outlay or for retiring debt related to school construction, making it an indispensable funding source for local education infrastructure; and

WHEREAS, the revenues generated from Articles 39, 40, and 42 are foundational to county budget planning and service delivery, and any disruption to these revenue streams would significantly impact counties' ability to meet statutory and community obligations;

NOW, THEREFORE, BE IT RESOLVED, that the Cleveland County Board of Commissioners affirms the critical importance of local sales tax revenues authorized under Articles 39, 40, and 42 to the fiscal health and operational capacity of county governments across North Carolina;

BE IT FURTHER RESOLVED, that the Board respectfully urges the North Carolina General Assembly to preserve and protect these vital local revenue sources to ensure counties can continue to meet the growing needs of their residents;

BE IT FINALLY RESOLVED, that copies of this resolution be shared with members of the North Carolina General Assembly, the North Carolina Association of County Commissioners, and other appropriate stakeholders.

Adopted this the 17th day of June, 2025.

Kevin Gordon, Chairman
Cleveland County Board of Commissioners

ATTEST:

Phyllis Nowlen, Clerk to the Board
Cleveland County Board of Commissioners

COUNTY OF CLEVELAND, NORTH CAROLINA

AGENDA ITEM SUMMARY

JCPC: Annual Report

Department: Juvenile Crime Prevention Council

Agenda Title: Annual Report

Agenda Summary:

Proposed Action:

ATTACHMENTS:

File Name	Description
<input type="checkbox"/> Cleveland_JCPC__FY_25-26_County_Funding_Plan.pdf	County Funding Plan
<input type="checkbox"/> Cleveland_JCPC_Executive_Summary_Annual_Plan_2025-26.pdf	Executive Summary
<input type="checkbox"/> Cleveland_JCPC_Certification_2025.pdf	2025 Certification

Cleveland County NC DPS - Community Programs - County Funding Plan

Available Funds: \$ \$340,063 Local Match: \$ \$89,613 Rate: 20%

DPS JCPC funds must be committed with a Program Agreement submitted in NC Allies and electronically signed by authorized officials.

#	Program Provider	DPS-JCPC Funding	LOCAL FUNDING			OTHER State/Federal	OTHER Funds	Total	Total DPS-JCPC Program Revenues
			County Cash Match	Local Cash Match	Local In-Kind				
1	JCPC Admin	\$15,254						\$15,254	
2	Cleveland Early Intervention - Cleveland County Schools	\$40,000		\$14,268	\$14,334			\$68,602	42%
3	Community Service/Restitution - Mediation Center of the Southern Piedmont	\$45,000			\$12,000			\$57,000	21%
4	Juvenile Mediation - Mediation Center of the Southern Piedmont	\$31,000		\$50	\$6,150			\$37,200	17%
5	Kids At Work! Cleveland - Aspire Youth & Family, Inc.	\$40,000			\$9,046			\$49,046	18%
6	Teen Court-Mediation Center of the Southern Piedmont	\$56,275		\$998	\$10,260			\$67,533	17%
7	PORT Program - Freedom House of Mecklenburg, Inc.	\$40,000			\$8,000			\$48,000	17%
8	Common Sense Parenting	\$38,000			\$7,600			\$45,600	17%
9	HandUp Solutions	\$34,534			\$6,907			\$41,441	17%
10									
11									
12									
13									
14									
15									
16									
17									
18									
TOTALS:		\$340,063		\$15,316	\$74,297			\$429,676	21%

The above plan was derived through a planning process by the Cleveland County Juvenile Crime Prevention Council and represents the County's Plan for use of these funds in FY 2025-2026.

Amount of Unallocated Funds _____

Amount of funds reverted back to DPS _____

Discretionary Funds added _____

check type ☒ initial plan ☐ update ☐ final

-----DPS Use Only-----

Reviewed by [Signature] 5-20-25

Reviewed by [Signature] 5-28-25

Verified by _____

Designated State Officer Staff _____

[Signature] 5/28/25
Chairperson, Juvenile Crime Prevention Council (Date)

Chairperson, Board of County Commissioners (Date)
or County Finance Officer

Executive Summary

The Cleveland County Juvenile Crime Prevention Council (JCPC), in fulfillment of the duties and responsibilities as set forth in the General Statutes of the State of North Carolina, has completed the activities required to develop this County Plan for Fiscal Year, 2025 through 2026.

The JCPC Planning Committee met on November 21, 2024, to review the Juvenile Court YASI (Youth Assessment and Screening Instrument) data for Cleveland County and has identified the issues and factors which have an influence and impact upon delinquent youth, at-risk youth, and their families in Cleveland County. Further, the JCPC has identified the strategies and services most likely to reduce/prevent delinquent behavior.

Priorities for Funding: Through this risk/needs and resource assessment, the JCPC has determined that the following services are needed to reduce/prevent delinquency in Cleveland County. (Unranked Priorities)

Assessment Services: Clinical/Psychological, Problem Sexual Behavior, Substance Use/Abuse
Community Service/Restitution
Home Based Family Counseling
Interpersonal Skill Building
Mediation/Conflict Resolution
Mental/Behavioral Health Counseling
Mentoring
Tutoring/Academic Enhancement
Parent/Family Skill Building/Family Counseling
Individual/Group Counseling
Problem Sexual Behavior Services
Substance Abuse Counseling
Teen Court
Vocational Skills

Monitoring and Evaluation: Each program funded in the past year by the JCPC has been monitored. The monitoring results and program outcomes evaluations were considered in making funding allocation decisions. The JCPC continues to conduct implementation monitoring of its action plan and its funded programs on a quarterly basis.

Funding Recommendations: Having published a Request for Proposals for these needed services for a minimum of thirty (30) days, the JCPC has screened the submitted proposals and has determined which proposals best meet the advertised needed services. As required by statute, the JCPC recommends allocation of the NC Department of Public Safety, Juvenile Crime Prevention Council Funds to the following Programs in the amounts specified below for FY 2025-2026 (See JCPC Funding Allocations page):

1. Cleveland Early Intervention	\$ 40,000
2. Mediation	\$ 31,000
3. Comm Serv/ Restitution	\$ 45,000
4. PORT	\$ 40,000
5. Common Sense Parenting	\$ 38,000
6. Teen Court	\$ 56,275

- | | |
|---------------------|-----------|
| 7. Kids at Work | \$ 40,000 |
| 8. HandUp Solutions | \$ 34,534 |

The JCPC further recommends that the following amount be allocated from the NC Department of Public Safety funds for the administrative costs of the Council for FY 2025-2026:

Cleveland County JCPC Administrative Budget	\$15,254
---	----------

The JCPC makes the following additional recommendations to (or brings the following to the attention of) the Commissioners of Cleveland County:

1. Additional funding to address the anticipated service needs for residential placements; Group Home(s); and Specialized Foster Care and/or Crisis Care Placements are recommended.

The JCPC makes the following additional recommendations to (or brings the following to the attention of) the NC Department of Public Safety:

1. Sex Offender Treatment continues to be a recommended funding priority should additional funds become available, and an appropriate provider presents themselves for consideration by the Cleveland County JCPC Allocation Committee for review and possible funding.
2. Structured Activity Skill Building Programs continue to be a recommended funding priority should additional funds become available, and an appropriate provider presents themselves for consideration by the Cleveland JCPC Allocation Committee for review and possible funding.

Respectfully Submitted,



Jamey Davis, Chair
Cleveland County Juvenile Crime Prevention Council

5/6/25
Date

CLEVELAND COUNTY 2025-26 JCPC FUNDED PROGRAMS

PORT: Sponsoring Agency: Freedom House of Mecklenburg

Contact Information: Derrick Harris, derrick@freedomhousenc.com, 704 923-5539

Component: Substance Abuse Counseling

Providing Opportunities in Recovery for Teens (PORT) Program provides Substance use screenings, assessments, evaluations, counseling, community-based interventions, and urinalysis for juvenile court involved youth experiencing challenges with substance use. The CADC/CPS, LCAS-A, or CADC-R provides counseling during crisis, counsel youth in the community, assist the family in arranging other services, and assists with transportation when necessary and appropriate.

Common Sense Parenting: Sponsoring Agency: Freedom House of Mecklenburg

Contact Information: Derrick Harris, derrick@freedomhousenc.com, 704-923-5539

Common Sense Parenting is a practical, skill-based parenting program that can be applied to every family. The program's logical strategies and easy-to-learn techniques address issues of communication, discipline, decision-making, relationships, self-control and school success. Our target population is court involved youth 6-17 years of age who are involved with juvenile court and ordered or referred to complete family counseling as part of juvenile court diversion/probation.

HandUp Solutions: Sponsoring Agency: Freedom House of Mecklenburg

Contact Information: Derrick Harris, derrick@freedomhousenc.com, 704-923-5539

HandUp Solutions is a community-based workforce preparedness program for youth involved with juvenile services. The program provides clear exploration and assessment services, and the opportunity to develop soft skills necessary for the workplace. HandUp Solutions helps youth and their families in completing conditions of their probation. The staff work closely with juvenile justice services to assess the needs of each involved youth to prepare them for success in the workforce.

Juvenile Mediation: Sponsoring Agency: Mediation Center of the Southern Piedmont

Contact Information: Beth Fox, bfox@mediationcsp.com or, Anne Harrelson, aharrelson@mediationcsp.com, 704-868-9576

Component: Mediation/Conflict Resolution: Restorative Justice Conferencing leads young offenders to take responsibility for their actions by learning and understanding the impact and consequences of their actions and sends them a clear message about accountability. Positive Impact classes are part of the process. These classes give youth the tools to realize the harm their actions have caused, enable them to make better choices and allow them to be accountable for their actions and choices.

Cleveland County Teen Court: Sponsoring Agency: Mediation Center of the Southern Piedmont. *Contact Information: Beth Fox, bfox@mediationcsp.com 704-868-9576*

Component: Teen Court

Teen Court is an alternative to adjudication through the Juvenile Court/District Court. It provides an opportunity for juvenile offenders, who accept responsibility for their offense, to go before a jury of peers and be represented by a teen attorney. The teen jury listens to testimony and decides an appropriate sentence based on guidelines provided by an adult

judge. Upon successful completion, the referring agency will be notified and charges against the juvenile will not be pursued further.

Cleveland County Restitution & Community Service: Sponsoring Agency: Mediation Center of the Southern Piedmont, *Contact Information: Beth Fox, bfox@mediationcsp.com 704-868-9576*

Component: Juvenile Restitution & Community Service

The goal is to offer juvenile offenders an option to give back to the community. It leverages local businesses, government agencies, and non-profit agencies to provide opportunities for youth to pay back restitution and offers a way for them to be held accountable and to repair some of the harm caused by their conduct. Monetary restitution is a process by which juvenile offenders are held partially or fully accountable for the financial losses suffered by the victims of their crimes.)

Cleveland Early Intervention: Sponsoring Agency: Cleveland County Schools
Contact Information: Rodney Borders, rborders@clevelandcountyschools.org 704-476-8060; Kaitlynne Lynch, 704 476-7682, krlynch@clevelandcountyschools.org

Component: Interpersonal Skill Building

Cleveland Early Intervention (CEI) is an interpersonal skill building program based at Turning Point Academy, alternative school in Cleveland Co. Schools. CEI employs a Life Skills Coordinator to teach interpersonal skills to youth placed at TPA that are referred due to social skills deficits. The LSC provides primarily individual counseling with supplemental group sessions; links students to additional services in and out of school and provides opportunities to learn and model new skills.

Kids at Work!: Sponsoring Agency: Aspire Youth & Family
Contact Information: Kim Castano, kim@aspirenc.org 828-226-5533

Component: Interpersonal Skill Building

Kids at Work is an interpersonal skills development program based around the culinary arts. Youth are a part of the program for 16 weeks and meet for three hours once a week for instruction. The curriculum consists of 24 hands-on lessons that are designed to meet the clients unique learning styles and help them apply the skills in a work environment. Youth 14 and older also complete training in ServSafe and take the certification exam. All program youth will receive a vocational assessment.

JUVENILE CRIME PREVENTION COUNCIL CERTIFICATION STANDARDS

G.S. 143B-853 allows for a 2-year funding cycle for programs that meet the requirements of the statute and have been awarded funds in a prior funding cycle. Indicate below if the JCPC plans to allow for a 1-year or 2-year funding cycle.

1-Year Funding: FY 2024-2025

Membership

- | | |
|---|------------|
| A. Have the members of the Juvenile Crime Prevention Council been appointed by county commissioners? | <u>Yes</u> |
| B. Are members appointed for two-year terms and are those terms staggered? | <u>Yes</u> |
| C. Is membership reflective of social-economic and racial diversity of the community? | <u>Yes</u> |
| D. Does the membership of the Juvenile Crime Prevention Council reflect the required positions as provided by N.C.G.S. §143B-846? | <u>No</u> |

If not, which positions are vacant and why?

Student representatives have not been redesignated after pandemic-related school closures. We are working with our Teen Court program to identify possible members.

Organization

- | | |
|---|----------------|
| A. Does the JCPC have written Bylaws? | <u>Yes</u> |
| B. Bylaws are | <u>On file</u> |
| C. Bylaws contain Conflict of Interest section per JCPC policy and procedure. | <u>Yes</u> |
| D. Does the JCPC have written policies and procedures for funding and review? | <u>Yes</u> |
| E. These policies and procedures | <u>On file</u> |
| F. Does the JCPC have officers and are they elected annually? | <u>Yes</u> |

Meetings

- | | |
|--|------------|
| A. JCPC meetings are considered open and public notice of meetings is provided. | <u>Yes</u> |
| B. Is a quorum defined as the majority of membership and required to be present in order to conduct business at JCPC meetings? | <u>Yes</u> |
| C. Does the JCPC meet six (6) times a year at a minimum? | <u>Yes</u> |
| D. Are minutes taken at all official meetings? | <u>Yes</u> |
| E. Are minutes distributed prior to or during subsequent meetings? | <u>Yes</u> |

Planning

- | | |
|--|------------|
| A. Does the JCPC conduct a biennial planning process which includes a needs assessment, monitoring of programs and funding allocation process? | <u>Yes</u> |
| B. Is this Biennial Plan presented to the Board of County Commissioners and to DPS? | <u>Yes</u> |
| C. Is the Funding Plan approved by the full council and submitted to Commissioners for their approval? | <u>Yes</u> |

Public Awareness

- | | |
|--|------------|
| A. Does the JCPC communicate the availability of funds to all public and private non-profit agencies which serve children or their families and to other interested community members?
<input checked="" type="checkbox"/> RFP, Distribution List, and Advertisement attached | <u>Yes</u> |
| B. Does the JCPC complete a biennial needs assessment and make that information available to agencies which serve children or their families, and to interested community members? | <u>Yes</u> |

No Overdue Tax Debt

- | | |
|--|------------|
| A. As recipient of the county DPS JCPC allocation, does the County certify that it has no overdue tax debts, as defined by N.C.G.S. §105-243.1, at the Federal, State, or local level? | <u>Yes</u> |
|--|------------|

JUVENILE CRIME PREVENTION COUNCIL CERTIFICATION STANDARDS

Briefly outline the plan for correcting any areas of standards non-compliance.

The JCPC is working with Teen Court to recruit youth to serve on the Council for the 24-25 year.

JUVENILE CRIME PREVENTION COUNCIL CERTIFICATION STANDARDS

Instructions: N.C.G.S. § 143B-846 specifies suggested members be appointed by county commissioners to serve on local Juvenile Crime Prevention Councils. In certain categories, a designee may be appointed to serve. Please indicate the person appointed to serve in each category and his/her title. Indicate appointed members who are designees for named positions. Indicate race and gender for all appointments.

Specified Members	Name	Title	Designee	Race	Gender
1) School Superintendent or designee	Rodney Borders	Asst. Supt's Designee	<input checked="" type="checkbox"/>	Black or African American	Male
2) Chief of Police or designee	Hanna Moore	Detective, Shelby PD	<input checked="" type="checkbox"/>	White	Female
3) Local Sheriff or designee	Jordan Bowen	Deputy Sheriff	<input checked="" type="checkbox"/>	White	Male
4) District Attorney or designee	Michael Miller	District Attorney, Cleveland/Lincoln		White	Male
5) Chief Court Counselor or designee	Sara Brunner	Chief CC		White	Female
6) Director, Local Management Entity/ Managed Care Organization (LME/MCO), or designee	VACANT				
7) Director DSS or designee	Rebecca Johnson	Director		White	Female
8) County Manager or designee	Sherrie Geer	Senior Finance Officer, Co. Finance	<input checked="" type="checkbox"/>	White	Female
9) Substance Abuse Professional	Kevin Oliver	CEO Phoenix Counseling Center		White	Female
10) Member of Faith Community	Juan Cherry	Youth Pastor		Black or African American	Male
11) County Commissioner	Deb Hardin	Commissioner		White	Female
12) A Person Under the Age of 21	VACANT				
13) A Person Under the Age of 21, or a member of the public representing the interests of families of at-risk juveniles	VACANT				
14) Juvenile Defense Attorney	Lydia Hoza	Chief Public Defender		White	Female
15) Chief District Judge or designee	Jeanette R. Reeves	Chief District Judge		Black or African American	Female
16) Member of Business Community	Jamey Davis	CFO, Capital Finance		White	Male
17) Local Health Director or designee	Carmen Barbuto	Cleveland County Health Department	<input checked="" type="checkbox"/>	White	Female
18) Rep. United Way/other non-profit	Margie Christopher	Retired Director CHCC		White	Female

19) Representative/Parks and Rec	Erik Smith	Program Director, Dover YMCA		White	Male
20) County Commissioner appointee	Cathy Robertson	Exec. Director, Abuse Prevention Council		White	Female
21) County Commissioner appointee	Jeanne Patterson	Training Coord., Partners MCO		White	Female
22) County Commissioner appointee	Jeff Ledford	Cleveland Comm. College		White	Male
23) County Commissioner appointee	Joel Shores	Retired CCSO, CSS school board		White	Male
24) County Commissioner appointee	Phil Weathers	Retired, CCS		White	Male
25) County Commissioner appointee	Sandy Hamrick	Director of Student Services, CCS		White	Female
26) County Commissioner appointee	Stacey Spicer	Student Advisor, CCC		White	Female

Form JCPC/OP 002 (a) Juvenile Crime Prevention Council Certification Agreement

Form structure last revised June 2024

NC Department of Public Safety

COUNTY OF CLEVELAND, NORTH CAROLINA

AGENDA ITEM SUMMARY

Minimum Housing Parcel 16827

Department:

Agenda Title: Minimum Housing Parcel 16827

Agenda Summary: Chris Martin, Planning Director

Proposed Action:

ATTACHMENTS:

File Name	Description
<input type="checkbox"/> Min_Housing_Staff_Report_-_Victoria_Road.pdf	Parcel 16827

STAFF REPORT

Date: April 28, 2025
To: Board of Commissioners
From: Chris Martin, Planning Director
Subject: Minimum Housing

Property

Address: 118 Victoria Drive
Parcel: 16827
Owner: Edgar D McCurry Heirs

Action Needed

Authorize staff to demolish the structure and remove all debris from the property.

Review

A minimum housing petition was received by the Planning Department and an inspection was performed on the property on January 29, 2025 and most recently April 16, 2025.

A hearing was held February 25, 2025 and no evidence was presented by the land owners that showed the property was brought into compliance. An Order was issued to repair or demolish the structure within 30 days. This Order expired April 7, 2025. There have been no improvements to the property and it remains out of compliance.

Tax Value:	Building	\$2,000
	Land	\$16,800
	Total	\$18,800
Taxes Due:	\$738.50	

Estimated Repair Cost: Total Replacement

Pros:

- Blight removed from the neighborhood.

Cons:

- Debt added to the property.

Fiscal Impact: Cost of removal and clean up.

Recommendation

Staff recommends that the structure and debris be removed from the property.

Attachments: Ordinance
Photos February 2025



COUNTY OF CLEVELAND, NORTH CAROLINA

AGENDA ITEM SUMMARY

Lattimore Volunteer Fire Department Fire District

Department:

Agenda Title: Lattimore Volunteer Fire Department Fire District

Agenda Summary:

Proposed Action:

ATTACHMENTS:

File Name	Description
<input type="checkbox"/> Staff_Report_Lattimore_inclusion_into_Service_District.doc	Staff Report
<input type="checkbox"/> (Lattimore_VFD)_GS_153A-302.pdf	NCGS
<input type="checkbox"/> Lattimore_VFD_GS_153A-303.pdf	Lattimore VFD
<input type="checkbox"/> Mooresboro__Lattimore_VFD_Resolution.pdf	Mooresboro Resolution
<input type="checkbox"/> Kingstown_Signed_Resolution_-Cleveland_County_Fire_District.pdf	Kingstown Resolution
<input type="checkbox"/> Resolution_Lattimore_within_the_Cleveland_Co_Fire_Protection_Service_District.pdf	Lattimore Resolution

STAFF REPORT

To: Cleveland County Commissioners Date: June 3, 2025

Via: David Cotton, County Manager

From: Perry Davis, Emergency Management Director/Fire Marshal

Subject: Lattimore Fire addition to County Fire Service District

Summary Statement: Lattimore Fire Department has requested to participate in the Cleveland County Service District

Review: Originally formed as a G.S. 69 fire department The Lattimore fire district wishes to be included into the Cleveland County Service District which was formed under G.S. 153A

Background: Allowing the Lattimore Fire Department to be included in the Cleveland County Service District will provide for a more sustainable revenue stream for the fire district for many years to come, as G.S. 69 districts are dependent upon tax funds generated specifically in the boundaries of said district, the G.S.153A Service districts funding are inclusive of all districts that participate in the district and funding is calculated based on a set formula which allows for a more sustainable funding model.

Pros: Will allow the Lattimore Fire District to operate by maintaining the same fire tax level as other departments within Cleveland County without creating an additional increase in the tax level of their current district. Without this change it will be necessary to increase the fire tax for this district to sustain funding levels to allow for service to their citizens.

- Cons: No Cons are identified at this time.

Fiscal Impact to Cleveland County Budget: Currently no additional fiscal impacts to the county budget are needed.

Recommendation: Approval of the inclusion of Lattimore Fire Department into the Cleveland County Fire Service District.

§ 153A-302. Definition of service districts.

(a) Standards. – In determining whether to establish a proposed service district, the board of commissioners shall consider all of the following:

- (1) The resident or seasonal population and population density of the proposed district.
- (2) The appraised value of property subject to taxation in the proposed district.
- (3) The present tax rates of the county and any cities or special districts in which the district or any portion thereof is located.
- (4) The ability of the proposed district to sustain the additional taxes necessary to provide the services planned for the district.
- (5) If it is proposed to furnish water, sewer, or solid waste collection services in the district, the probable net revenues of the projects to be financed and the extent to which the services will be self-supporting.
- (6) Any other matters that the commissioners believe to have a bearing on whether the district should be established.

(a1) Findings. – The board of commissioners may establish a service district if, upon the information and evidence it receives, the board finds that all of the following apply:

- (1) There is a demonstrable need for providing in the district one or more of the services listed in G.S. 153A-301.
- (2) It is impossible or impracticable to provide those services on a countywide basis.
- (3) It is economically feasible to provide the proposed services in the district without unreasonable or burdensome annual tax levies.
- (4) There is a demonstrable demand for the proposed services by persons residing in the district.

Territory lying within the corporate limits of a city or sanitary district may not be included unless the governing body of the city or sanitary district agrees by resolution to such inclusion.

(b) Report. – Before the public hearing required by subsection (c), the board of commissioners shall cause to be prepared a report containing:

- (1) A map of the proposed district, showing its proposed boundaries;
- (2) A statement showing that the proposed district meets the standards set out in subsection (a); and
- (3) A plan for providing one or more of the services listed in G.S. 153A-301 to the district.

The report shall be available for public inspection in the office of the clerk to the board for at least four weeks before the date of the public hearing.

(c) Hearing and Notice. – The board of commissioners shall hold a public hearing before adopting any resolution defining a new service district under this section. Notice of the hearing shall state the date, hour, and place of the hearing and its subject, and shall include a map of the proposed district and a statement that the report required by subsection (b) is available for public inspection in the office of the clerk to the board. The notice shall be published at least once not less than one week before the date of the hearing. In addition, it shall be mailed at least four weeks before the date of the hearing by any class of U.S. mail which is fully prepaid to the owners as shown by the county tax records as of the preceding January 1 (and at the address shown thereon) of all property located within the proposed district. The person designated by the board to mail the notice shall certify to the board that the mailing has been completed and his certificate is conclusive in the absence of fraud.

(d) Effective Date. – The resolution defining a service district shall take effect at the beginning of a fiscal year commencing after its passage, as determined by the board of commissioners.

(e) Exceptions For Countywide District. – The following requirements do not apply to a board of commissioners that proposes to create a law enforcement service district pursuant to G.S. 153A-301(a)(10) that covers the entire unincorporated area of the county:

- (1) The requirement that the district cannot be created unless the board makes the finding in subdivision (a1)(2) of this section.
- (2) The requirement in subsection (c) of this section to notify each property owner by mail, if the board publishes a notice of its proposal to establish the district, once a week for four successive weeks before the date of the hearing required by that subsection.

(f) Exceptions for Article 24 District. – The following requirements do not apply to a board of commissioners that proposes to create a service district pursuant to G.S. 153A-301(a)(11) that covers the entire unincorporated area of the county:

- (1) The requirement that the district cannot be created unless the board makes the finding in subdivision (a1)(2) of this section.
- (2) The requirement in subsection (c) of this section to notify each property owner by mail, if the board publishes a notice of its proposal to establish the district, once a week for two successive weeks before the date of the hearing required by that subsection. (1973, c. 489, s. 1; c. 822, s. 2; 1981, c. 53, s. 1; 1995, c. 354, s. 2; 2005-433, s. 10(c).)

§ 153A-303. Extension of service districts.

(a) Standards. – The board of commissioners may by resolution annex territory to any service district upon finding that:

- (1) The area to be annexed is contiguous to the district, with at least one eighth of the area's aggregate external boundary coincident with the existing boundary of the district; and
- (2) That the area to be annexed requires the services of the district.

(b) Annexation by Petition. – The board of commissioners may also by resolution extend by annexation the boundaries of any service district when one hundred percent (100%) of the real property owners of the area to be annexed have petitioned the board for annexation to the service district.

(c) Territory lying within the corporate limits of a city or sanitary district may not be annexed to a service district unless the governing body of the city or sanitary district agrees by resolution to such annexation.

(d) Report. – Before the public hearing required by subsection (e), the board shall cause to be prepared a report containing:

- (1) A map of the service district and the adjacent territory, showing the present and proposed boundaries of the district;
- (2) A statement showing that the area to be annexed meets the standards and requirements of subsections (a), (b), and (c); and
- (3) A plan for extending services to the area to be annexed.

The report shall be available for public inspection in the office of the clerk to the board for at least two weeks before the date of the public hearing.

(e) Hearing and Notice. – The board shall hold a public hearing before adopting any resolution extending the boundaries of a service district. Notice of the hearing shall state the date, hour and place of the hearing and its subject, and shall include a statement that the report required by subsection (d) is available for inspection in the office of the clerk to the board. The notice shall be published at least once not less than one week before the date of the hearing. In addition, the notice shall be mailed at least four weeks before the date of the hearing to the owners as shown by the county tax records as of the preceding January 1 of all property located within the area to be annexed. The notice may be mailed by any class of U.S. mail which is fully prepaid. The person designated by the board to mail the notice shall certify to the board that the mailing has been completed, and his certificate shall be conclusive in the absence of fraud.

(f) Effective Date. – The resolution extending the boundaries of the district shall take effect at the beginning of a fiscal year commencing after its passage, as determined by the board. (1973, c. 489, s. 1; c. 822, s. 2; 1981, c. 53, s. 2.)

**TOWN OF MOORESBORO, NORTH CAROLINA
RESOLUTION INCLUDING THE TOWN OF MOORESBORO
WITHIN THE CLEVELAND COUNTY FIRE PROTECTION
SERVICE DISTRICT**

WHEREAS, the Cleveland County Board of Commissioners (Board) previously established the Cleveland County Fire Protection Service District for the purpose of financing fire protection as authorized in North Carolina Gen. Stat. §153A-301, and;

WHEREAS, the Board intends to extend the Cleveland County Fire Protection Service District as outlined in North Carolina Gen. Stat. §153A-303, and;

WHEREAS, pursuant to North Carolina Gen. Stat. §153A-303(c) territory lying within the corporate limits of a municipality or sanitary district may not be included in a county service tax district unless the governing body of the municipality or sanitary district agrees by resolution to such inclusion, and;

WHEREAS, expenses related to the provision of fire protection services are increasing due to increased fire facilities, staff, apparatus, and rising associated costs required to maintain service levels, and;

WHEREAS, the Town of Mooresboro desires to be included in the Cleveland County Fire Protection Service District, and;

WHEREAS, Cleveland County will contract for fire protection services within the boundaries of the fire protection service tax district, and;

WHEREAS all citizens within the corporate limits of Mooresboro will be taxed at a uniform rate established by the Board for the Cleveland County Fire Protection Service District;

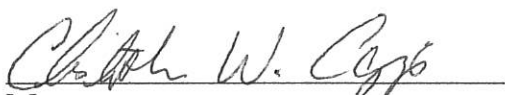
NOW THEREFORE BE IT RESOLVED, Mooresboro Town Council hereby declare its desire to be included within the Cleveland County Fire Protection Service District.

Adopted this June 9th, 2025 while in regular session.

ATTEST:



Town Clerk



Mayor

TOWN OF KINGSTOWN, NORTH CAROLINA
RESOLUTION INCLUDING THE TOWN OF KINGSTOWN WITHIN THE CLEVELAND COUNTY FIRE
PROTECTION SERVICE DISTRICT

WHEREAS, the Cleveland County Board of Commissioners (Board) previously established the Cleveland County Fire Protection Service District for the purpose of financing fire protection as authorized in North Carolina Gen. Stat. §153A-301, and;

WHEREAS, the Board intends to extend the Cleveland County Fire Protection Service District as outlined in North Carolina Gen. Stat. §153A-303, and;

WHEREAS, pursuant to North Carolina Gen. Stat. §153A-303(c) territory lying within the corporate limits of a municipality or sanitary district may not be included in a county service tax district unless the governing body of the municipality or sanitary district agrees by resolution to such inclusion, and;

WHEREAS, expenses related to the provision of fire protection services are increasing due to increased fire facilities, staff, apparatus, and rising associated costs required to maintain service levels, and;

WHEREAS, the Town of Kingstown desires to be included in the Cleveland County Fire Protection Service District, and;

WHEREAS, Cleveland County will contract for fire protection services within the boundaries of the fire protection service tax district, and;

WHEREAS all citizens within the corporate limits of Kingstown will be taxed at a uniform rate established by the Board for the Cleveland County Fire Protection Service District;

NOW THEREFORE BE IT RESOLVED, Kingstown Town Council hereby declare its desire to be included within the Cleveland County Fire Protection Service District.

Adopted this 9th day of June, 2025 while in regular session.

ATTEST:


Town Clerk


Mayor

TOWN OF LATTIMORE, NORTH CAROLINA
RESOLUTION INCLUDING THE TOWN OF LATTIMORE WITHIN THE CLEVELAND COUNTY FIRE
PROTECTION SERVICE DISTRICT

WHEREAS, the Cleveland County Board of Commissioners (Board) previously established the Cleveland County Fire Protection Service District for the purpose of financing fire protection as authorized in North Carolina Gen. Stat. §153A-301, and;

WHEREAS, the Board intends to extend the Cleveland County Fire Protection Service District as outlined in North Carolina Gen. Stat. §153A-303, and;

WHEREAS, pursuant to North Carolina Gen. Stat. §153A-303(c) territory lying within the corporate limits of a municipality or sanitary district may not be included in a county service tax district unless the governing body of the municipality or sanitary district agrees by resolution to such inclusion, and;

WHEREAS, expenses related to the provision of fire protection services are increasing due to increased fire facilities, staff, apparatus, and rising associated costs required to maintain service levels, and;

WHEREAS, the Town of Lattimore desires to be included in the Cleveland County Fire Protection Service District, and;

WHEREAS, Cleveland County will contract for fire protection services within the boundaries of the fire protection service tax district, and;

WHEREAS all citizens within the corporate limits of Lattimore will be taxed at a uniform rate established by the Board for the Cleveland County Fire Protection Service District;

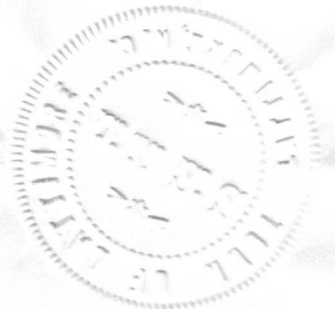
NOW THEREFORE BE IT RESOLVED, Lattimore Town Council hereby declare its desire to be included within the Cleveland County Fire Protection Service District.

Adopted this 9th day of June, 2025 while in regular session.

ATTEST:

L. Sandra Pearson
Town Clerk

Ailt Beal
Mayor



COUNTY OF CLEVELAND, NORTH CAROLINA

AGENDA ITEM SUMMARY

Oak Grove Volunteer Fire Department Relief Fund Board

Department:

Agenda Title: Oak Grove Volunteer Fire Department Relief Fund Board

Agenda Summary: Phyllis Nowlen, Clerk to the Board

Proposed Action:

ATTACHMENTS:

File Name

Description

No Attachments Available

COUNTY OF CLEVELAND, NORTH CAROLINA

AGENDA ITEM SUMMARY

Closed Session per North Carolina General Statute §143-318.11(a)(1) To prevent the disclosure of information that is privileged or confidential pursuant to the law of this State or of the United States, or not considered a public record within the meaning of Chapter 132 of the General Statutes.

Department:

Agenda Title: Closed Session per North Carolina General Statute §143-318.11(a)(1) To prevent the disclosure of information that is privileged or confidential pursuant to the law of this State or of the United States, or not considered a public record within the meaning of Chapter 132 of the General Statutes.

Agenda Summary: Kevin Gordon, Chairman

Proposed Action:

ATTACHMENTS:

File Name

Description

No Attachments Available

COUNTY OF CLEVELAND, NORTH CAROLINA

AGENDA ITEM SUMMARY

The next meeting of the Cleveland County Board of Commissioners will be held on Tuesday, July 8, 2025, at 6:00 p.m. in the Commissioners' Chambers.

Department:

Agenda Title: The next meeting of the Cleveland County Board of Commissioners will be held on Tuesday, July 8, 2025, at 6:00 p.m. in the Commissioners' Chambers.

Agenda Summary:

Proposed Action:

ATTACHMENTS:

File Name

Description

No Attachments Available