

**COUNTY OF CLEVELAND, NORTH CAROLINA**  
**AGENDA FOR THE BOARD OF ADJUSTMENT MEETING**

**January 30, 2025**

**4:00 PM**

**311 E. Marion St. Shelby, NC**

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**Call to order and Establishment of a Quorum**

**Invocation and Pledge of Allegiance**

**Approval of Minutes**

Approval of 12-19-2024 BOA Minutes

**Cases**

SUP Case 25-01: Request to expand a non-conforming use at 790 S. Battleground Ave

**Miscellaneous Business**

**Adjournment**

**COUNTY OF CLEVELAND, NORTH CAROLINA**

**AGENDA ITEM SUMMARY**

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**Approval of 12-19-2024 BOA Minutes**

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**Department:**

**Agenda Title:** Approval of 12-19-2024 BOA Minutes

**Agenda Summary:**

**Proposed Action:**

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**ATTACHMENTS:**

File Name	Description
<input type="checkbox"/> 12-19-24_BOA_Minutes_Draft.pdf	12-19-2024 BOA Minutes



**MINUTES**  
**CLEVELAND COUNTY BOARD OF ADJUSTMENT**  
**Commission Chambers – County Administrative Building**  
**311 East Marion St., Shelby, North Carolina**  
**Regular Meeting - 4:00 p.m.**  
**December 19, 2024**

<b>Members Present</b>	<b>Members Absent</b>	<b>Others Present</b>
Thomas Fletcher, Chairman	Bobby Watson	Analee Fry
Leon Martin, Vice Chairman		
Tommy Brooks	<b>Staff Present</b>	
Woody Edwards, <i>alternate</i>	Chris Martin, Planning Director	
	Hayden Whetstine, Planner	
	Anna Parker, Clerk	
	Martha Thompson, Attorney	

**CALL TO ORDER**

**Tommy Brooks** called the meeting to order at 4:10 p.m.

**ESTABLISHMENT OF QUORUM**

It was determined that quorum was present.

**PLEDGE & INVOCATION**

Vice Chairman Fletcher led the pledge and invocation.

**ELECTIONS OF CHAIRMAN AND VICE-CHAIRMAN**

**Tommy Brooks** nominated **Thomas Fletcher** as Chairman. Woody Edwards seconded the nomination. There were no more nominations and the vote was unanimous to appoint Thomas Fletcher as Chairman.

**Woody Edwards** nominated **Tommy Brooks** as Vice-Chairman. Tommy Brooks declined the nomination. **Tommy Brooks** nominated **Leon Martin** as Vice-Chairman. There were no more nominations and the vote was unanimous to appoint Leon Martin as Vice-Chairman.

**APPROVAL OF MINUTES: November 21, 2024 MINUTES**

**Leon Martin** made a motion to approve the November 21, 2024 minutes. Woody Edwards seconded the motion and it carried unanimously.

**SUP CASE 24-10: Kennel/Animal Boarding at 1411 Airport Rd.**

**Chris Martin** was sworn in. He stated that the the request is from the property owner, Analee Frye, for a kennel at 1411 Airport Rd. in Shelby. She submitted a site plan showing the proposed use and compliance with the Kennel ordinance. Kennels require a minimum two-acre lot size and 50’ setbacks for fences and buildings occupied by animals. The location is near 180 north and it is a mixed-use area. There are residences and commercial properties on 180. There is a Case chicken farm, an auto repair, and farm uses. The zoning of the property is Residential; it is surrounded by some Residential, General Business, Heavy Industrial, and Restricted Residential. The applicant plans to use the existing structures on the property, and they show where they will put the fence 50’ off the property lines. The applicant has submitted a complete application, shows the development will meet the standards, and it is in conformity with the Land Use Plan.

**Chairman Fletcher** opened the Evidentiary Hearing at 4:23 pm.

**Analee Fry** of 834 Hillcrest Ave. in Gastonia was sworn in. She stated that she purchased the property in 2023 and has cleaned it up of trash and squatters. She said that it improves the area, and the kennel will add a needed service for the community. She will follow all regulations. Her plan is to start with fifteen dogs max. The building on the property will be the kennel and part play area. There is also a day care component for dogs not kenneled during the day. She hopes to expand in the future.

**Chairman Fletcher** opened the Evidentiary Hearing at 4:26 pm. as there was no further comment.

**The Board** discussed the four criteria.

- |   |
|---|
| <ol style="list-style-type: none"><li>(1) Will it materially endanger the public health or safety- <b>No, there was no evidence of this.</b></li><li>(2) Will it substantially injure the value of adjoining or abutting property- <b>No.</b></li><li>(3) Will it <b>not</b> be in harmony with the area in which it is to be located- <b>No, it will be in harmony with the area.</b></li><li>(4) Will it <b>not</b> be in general conformity with the land use plan, thoroughfare plan, or other plan officially adopted by the board of commissioners- <b>No, it is in general conformity.</b></li></ol> |
|---|

**Leon Martin** made a motion to approve the special use permit Case 24-10 for an animal boarding/kennel facility at 1411 Airport Rd. Woody Edwards seconded the motion and it passed unanimously.

**MISCELLANEOUS BUSINESS**

**Chris Martin** said there are online training modules available and he can look into purchasing them for board training. Also, the county has recently added additional properties into their jurisdiction that were formerly in the Kings Mountain ETJ area.

**ADJOURNMENT**

**Chairman Fletcher** entertained a motion to adjourn.

**Tommy Brooks** so moved the motion to adjourn. It was seconded by Leon Martin and unanimously approved to adjourn at 4:35 pm.

ATTEST:

\_\_\_\_\_  
Thomas Fletcher, Chairman

\_\_\_\_\_  
Anna Parker, Clerk

**COUNTY OF CLEVELAND, NORTH CAROLINA**

**AGENDA ITEM SUMMARY**

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**SUP Case 25-01: Request to expand a non-conforming use at 790 S. Battleground Ave.**

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**Department:**

**Agenda Title:** SUP Case 25-01: Request to expand a non-conforming use at 790 S. Battleground Ave

**Agenda Summary:**

**Proposed Action:**

---

**ATTACHMENTS:**

<b>File Name</b>	<b>Description</b>
<input type="checkbox"/> 25-01_Staff_Report.pdf	Staff Report
<input type="checkbox"/> 25-01_Site_Plan_Cheyenne_Civil_Drawings.pdf	Site Plan
<input type="checkbox"/> 25-01_Map_Aerial_Map.pdf	Aerial Image
<input type="checkbox"/> 25-01_Map_Zoning_Map.pdf	Zoning Map
<input type="checkbox"/> 25-01_Map_LUP_Map.pdf	Land Use Plan Map
<input type="checkbox"/> 25-01_Application.pdf	Application

## STAFF REPORT

To: Board of Adjustment Meeting Date: 01-30-2025  
From: Chris Martin, Planning Director  
Subject: Case 25-01 Special Use Permit

**Summary Statement:** Eli Witherspoon of Pinnix, Inc is requesting a special use permit to expand a non-conforming use located at 790 S. Battleground Ave in Grover (Parcel 50833).

**Background:** Expanding a nonconforming use is allowed with the issuance of a special use permit. The property is currently zoned Light Industrial in the Corridor Protection zoning district overlay. It is 7.9 acres in size and the existing warehouse is currently utilized by Cheyenne International as a tobacco manufacturing plant. It is owned by Mountaineer Holdings LLC. The applicant submitted a site plan along with the application showing an addition to the back of the existing warehouse.

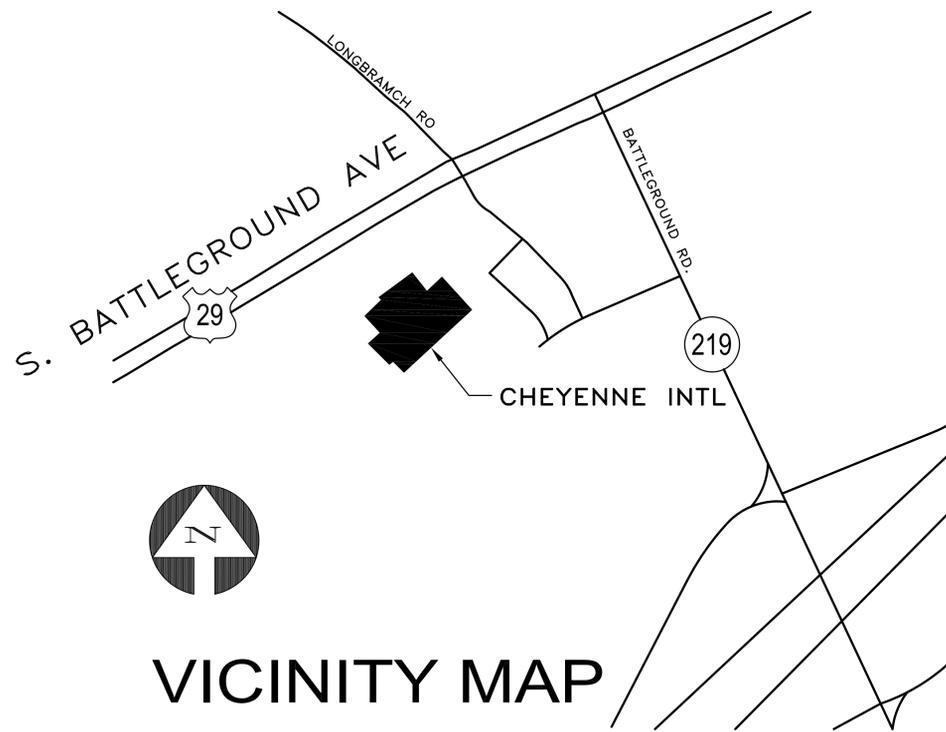
**Review:** The Cleveland County Unified Code of Ordinances (Section 12-8 Nonconforming use) states that:

- Nonconforming uses of land or structures, and nonconforming structures that contain nonconforming uses, may continue only in accordance with the provisions of this section.
- A nonconforming use shall not be expanded, nor shall such a nonconforming use be enlarged by additions to the structure in which the nonconforming use is located (either attached or detached) except pursuant to a special use permit issued by the board of adjustment.

### **Section 12-33 – Special Use Permits**

Even if the board of adjustment finds that the application complies with all other provisions of this chapter, it may still deny the permit if it concludes, based on the information submitted at the hearing, that if completed as proposed, the development, more likely than not:

1. Will materially endanger the public health or safety;
2. Will substantially injure the value of adjoining or abutting property;
3. Will not be in harmony with the area in which it is to be located; or
4. Will not be in general conformity with the land use plan, thoroughfare plan, or other plans officially adopted by the board of commissioners.



VICINITY MAP

# ADDITION TO CHEYENNE INTL. 790 S. BATTLEGROUND AVE GROVER, NC 28703

DWG. FILE NAME: DFULL

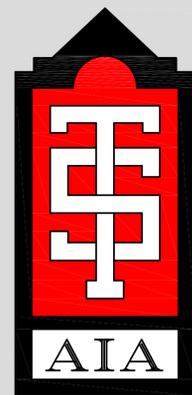
PLOT SCALE: 12" = 1'-0"

REVISIONS:

DATE	DESCRIPTION

## LIST OF DRAWINGS

- |                                       |   |
|---------------------------------------|---|
| 1. CD0 COVER SHEET                    | 33. S2.3 WALL FRAMING SECTIONS                |
| 2. CD1 CODE DATA                      | 34. S2.4 WALL FRAMING & DOCK LEVELER SECTIONS |
| 3. CD2 LIFE SAFETY PLAN               | 35. S2.5 WALL FRAMING SECTIONS                |
| 4. C1 EXISTING/DEMOLITION PLAN        | 36. FA0.1 FIRE ALARM COVER SHEET              |
| 5. C2 EROSION CONTROL PLAN PHASE 1    | 37. FA1.1 FIRE ALARM PLAN                     |
| 6. C3 EROSION CONTROL PLAN PHASE 2    | 38. P0.1 PLUMBING NOTES & FIXTURE SCHEDULE    |
| 7. C4 SITE PLAN                       | 39. P1.1 PLUMBING SANITARY PLAN               |
| 8. C5 GRADING AND UTILITY PLAN        | 40. P1.2 PLUMBING WATER PLAN                  |
| 9. C6 SANITARY SEWER PLAN AND PROFILE | 41. P1.3 PLUMBING ROOF PLAN                   |
| 10. C7 SECTIONS AND DETAILS           | 42. P5.1 PLUMBING DETAILS                     |
| 11. C8 NOTES AND DETAILS              | 43. M0.1 MECHANICAL NOTES & SCHEDULES         |
| 12. C9 SCHEDULES AND DETAILS          | 44. M1.1 MECHANICAL PLAN                      |
| 13. C10 SECTIONS AND DETAILS          | 45. M1.2 MECHANICAL ROOF PLAN                 |
| 14. A1 EXISTING FLOOR PLAN            | 46. M5.1 MECHANICAL DETAILS                   |
| 15. A2 EXISTING ELEVATIONS            | 47. E0.1 ELECTRICAL NOTES                     |
| 16. A3 NEW FLOOR PLAN                 | 48. E0.2 ELECTRICAL SPECIFICATIONS            |
| 17. A4 NEW ELEVATIONS                 | 49. E1.1 ELECTRICAL POWER FLOOR PLAN          |
| 18. A5 REFLECTED CEILING PLAN         | 50. E1.2 ELECTRICAL ROOF PLAN PLAN            |
| 19. A6 ROOF PLAN                      | 51. E2.1 ELECTRICAL LIGHTING PLAN             |
| 20. A7 ENLARGED TOILET ROOM PLANS     | 52. E3.1 ELECTRICAL DETAILS                   |
| 21. A8 DOOR SCHEDULE                  | 53. E3.2 ELECTRICAL DETAILS                   |
| 22. A9 WALL SECTIONS                  | 54. E3.3 ELECTRICAL DETAILS                   |
| 23. A10 ROOF AND O.H. DOOR DETAILS    | 55. E4.1 PANEL SCHEDULES                      |
| 24. A11 WALL SECTIONS                 |   |
| 25. A12 DOCK LEVELER DETAILS          |   |
| 26. S0.1 STRUCTURAL GENERAL NOTES     |   |
| 27. S0.2 GENERAL NOTES                |   |
| 28. S0.3 DIAGONAL BRACING ELEVATIONS  |   |
| 29. S1.1 FOUNDATION PLAN              |   |
| 30. S1.2 ROOF FRAMING PLAN            |   |
| 31. S2.1 WALL FRAMING SECTIONS        |   |
| 32. S2.2 WALL FRAMING SECTIONS        |   |



**TALLEY & SMITH  
ARCHITECTURE, INC.**  
SHELBY, NORTH CAROLINA  
P.O. BOX 518 (28151-0518) 704-487-7082  
409 E. MARION ST. (28150) FAX 704-482-5596

## ENGINEERING CONSULTANTS



www.thethrashergrpgnc.com  
Phone: 704-864-2201  
300 S. Front Street St. | Suite 200 C | Gastonia, NC 28852

NC License # F-0388  
SC 038 841



Charlotte, NC  
Ph: 980-254-1000  
Web: www.ddq-engineers.com  
Firm License No: COA P-2971



TAYLOR & VIOLA  
STRUCTURAL ENGINEERS  
P.O. BOX 2916 HICKORY NORTH CAROLINA  
TELE: 828-328-6331 FAX: 828-322-1801  
WWW.TAYLORVIOLA.COM

## DESIGN-BUILD GENERAL CONTRACTOR



**TALLEY & SMITH  
ARCHITECTURE, INC.**  
SHELBY, NORTH CAROLINA  
P.O. BOX 518 (28151-0518) 704-487-7082  
409 E. MARION ST. (28150) FAX 704-482-5596

**ADDITION TO  
CHEYENNE INTL.  
790 S. BATTLEGROUND AVE.**  
Grover, North Carolina 28703

COMM. NUMBER: 036  
DATE: November 25, 2024

SHEET  
**CDO**  
1 OF 55

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Talley & Smith Architecture, Inc.

### SPECIAL INSPECTIONS AND MATERIAL TESTING

SPECIAL INSPECTIONS ARE NOT REQUIRED AS PER 2018 NC BC SECTION 1705. THE FOLLOWING ARE THE APPLICABLE CODE SECTIONS.

1705.1.2 ITEMS 1-5. THE LISTED ITEMS DO NOT OCCUR ON THIS PROJECT.

1705.1.3.1. THE BUILDING IS RISK CATEGORY II, LESS THAN 45 FEET IN HEIGHT AND IS NOT UNDERGROUND.

### DRAWING CONVENTIONS NOTE:

DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER SCALED ITEMS. IF THERE IS A DISCREPANCY, CONTACT ARCHITECT FOR CLARIFICATION.

COMM. 036

OCTOBER 25, 2024

COMMISSION #036 ADDITION TO CHEYENNE INTL., 790 S. BATTLEGROUND AVE., GROVER, NORTH CAROLINA 28703



REVISIONS:

DATE	DESCRIPTION

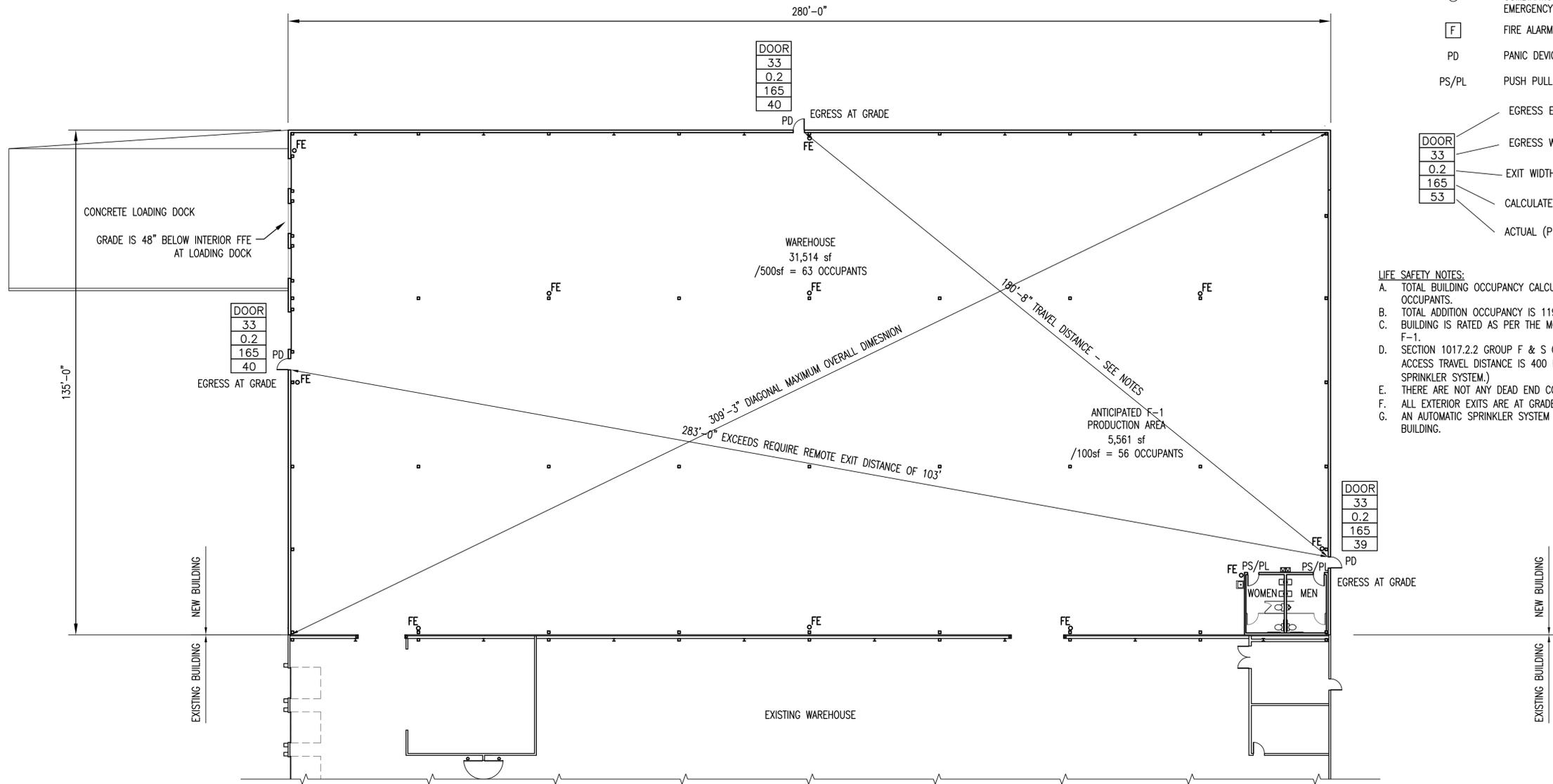
LIFE SAFETY LEGEND

- & □ FIRE EXTINGUISHERS  
 FE - FIRE EXT. BRACKET MOUNTED  
 FEC - RECESSED FIRE EXT. CABINET  
 COORDINATE FINAL LOCATIONS WITH FIRE MARSHAL
- ⊗ ILLUMINATED EXIT SIGN  
 POINT OF HATCHED AREA INDICATES  
 DIRECTION OF TRAVEL
- ⇨ EMERGENCY 90 MINUTE LIGHTING
- ⊗ COMBINATION - ILLUMINATED EXIT SIGN AND  
 EMERGENCY 90 MINUTE LIGHTING
- FIRE ALARM PULL STATION
- PD PANIC DEVICE DOOR HARDWARE
- PS/PL PUSH PULL DOOR HARDWARE - ALWAYS UNLOCKED

- EGRESS ELEMENT (DOOR, STAIR, ETC.)
- DOOR  
 33 EGRESS WIDTH (CLEAR IN.)  
 0.2 EXIT WIDTH PER PERSON (IN.)  
 165 CALCULATED CAPACITY (PEOPLE)  
 53 ACTUAL (PEOPLE)

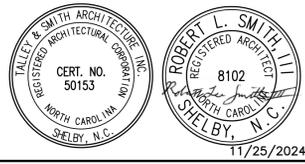
LIFE SAFETY NOTES:

- A. TOTAL BUILDING OCCUPANCY CALCULATED PER BUILDING CODE IS 336 OCCUPANTS.
- B. TOTAL ADDITION OCCUPANCY IS 119 OCCUPANTS.
- C. BUILDING IS RATED AS PER THE MOST RESTRICTIVE OCCUPANCY, GROUP F-1.
- D. SECTION 1017.2.2 GROUP F & S OCCUPANCY. MAXIMUM ALLOWABLE EXIT ACCESS TRAVEL DISTANCE IS 400 FEET. (ONE STORY WITH AUTOMATIC SPRINKLER SYSTEM.)
- E. THERE ARE NOT ANY DEAD END CORRIDORS.
- F. ALL EXTERIOR EXITS ARE AT GRADE (NO STEPS).
- G. AN AUTOMATIC SPRINKLER SYSTEM IS PROVIDED THROUGHOUT THE BUILDING.



LIFE SAFETY PLAN 1  
 1/16" = 1'-0"  
 CD2

37,075sf = CALCULATED BUILDING CODE SF  
 37,800sf = STANDARD BUILDING ADDITIONAL FOOTPRINT SF



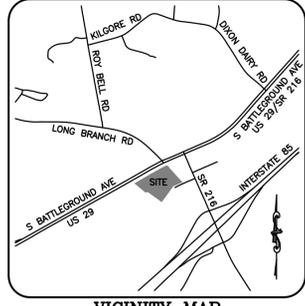
TALLEY & SMITH ARCHITECTURE, INC.  
 ARCHITECTURE, INC.  
 SHELBY, NORTH CAROLINA  
 P.O. BOX 518 (28151-0518) 704-487-7082  
 409 E. MARION ST. (28150) FAX 704-482-5596

ADDITION TO  
 CHEYENNE INTL.  
 790 S. BATTLEGROUND AVE.  
 Grover, North Carolina 28703

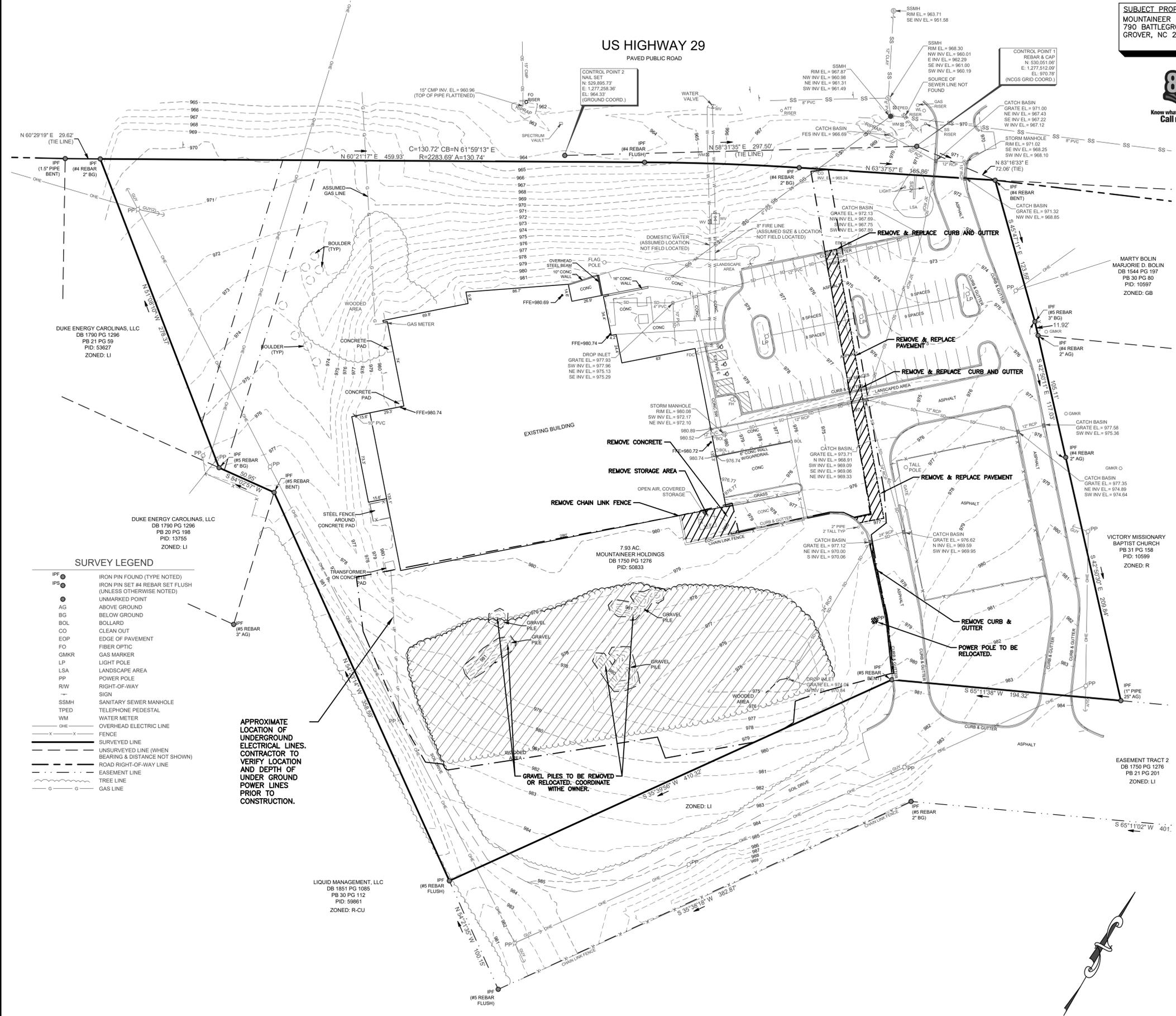
REVISIONS:

DATE	DESCRIPTION
9/13/24	REVISED TO KEEP CONC. PAD
11/27/24	M/E/P COORDINATION

SUBJECT PROPERTY (OWNER)  
 MOUNTAINEER HOLDINGS, LLC  
 790 BATTLEGROUND AVE.  
 GROVER, NC 28073



US HIGHWAY 29  
 PAVED PUBLIC ROAD



**SURVEY LEGEND**

IPF	IRON PIN FOUND (TYPE NOTED)
IPS	IRON PIN SET #4 REBAR SET FLUSH (UNLESS OTHERWISE NOTED)
●	UNMARKED POINT
AG	ABOVE GROUND
BG	BELOW GROUND
BOLL	BOLLARD
CO	CLEAN OUT
EOP	EDGE OF PAVEMENT
FO	FIBER OPTIC
GMKR	GAS MARKER
LP	LIGHT POLE
LSA	LANDSCAPE AREA
PP	POWER POLE
R/W	RIGHT-OF-WAY
SSMH	SIGN
SSMH	SANITARY SEWER MANHOLE
TPED	TELEPHONE PEDESTAL
WM	WATER METER
—O—O—	OVERHEAD ELECTRIC LINE
—X—X—	FENCE
---	SURVEYED LINE
---	UNSURVEYED LINE (WHEN BEARING & DISTANCE NOT SHOWN)
---	ROAD RIGHT-OF-WAY LINE
---	EASEMENT LINE
---	TREE LINE
G—G—	GAS LINE

APPROXIMATE LOCATION OF UNDERGROUND ELECTRICAL LINES. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF UNDER GROUND POWER LINES PRIOR TO CONSTRUCTION.

- NOTES:
- THE UTILITIES AND THE LOCATIONS THEREOF, SHOWN ON THE DRAWINGS, REPRESENT THE DESIGNER'S UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND EXISTENCE OF ALL UTILITIES ETC. WITHIN THE CONSTRUCTION AREA WITH THE OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING ANY EXCAVATION OR CONSTRUCTION. CALL NC ONE-CALL 48 HOURS PRIOR TO DIGGING. THE OMISSION OR INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF, OR DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
  - BOUNDARY AND TOPOGRAPHICAL INFORMATION TAKEN FROM SURVEY DONE BY THE THRASHER GROUP NORTH CAROLINA, DATED 27 MARCH 2024.
  - FLOOD HAZARD OVERLAY DISTRICT: THIS PROPERTY HAS BEEN DETERMINED TO LIE OUTSIDE OF A SPECIAL FLOOD HAZARD AREA. THIS SITE IS SHOWN TO BE IN AREAS DESIGNATED NON-SHADED ZONE "X". SEE FEMA PANEL #3710257200J, EFFECTIVE DATE 02/20/2008.
  - REMOVE ALL CLEARING AND DEMOLITION WASTE FROM THIS SITE AND DISPOSE OF LEGALLY IN A DEMOLITION LANDFILL.
  - THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CONFINE DISTURBED AREAS TO A MINIMUM. ALL AREAS DISTURBED BY THE CONTRACTOR DURING DEMOLITION SHALL BE IMMEDIATELY RESEED.
  - CONTRACTOR TO CONTACT NCDOT AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF THE LAND-DISTURBING ACTIVITY.

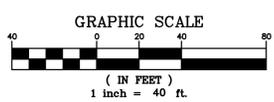


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**ADDITION TO CHEYENNE INTL.**  
 790 S. BATTLEGROUND AVE.  
 Grover, North Carolina 29703

COMM. NUMBER: 036  
 DATE: JULY 18, 2024  
 SHEET: C-1  
 4 OF 55

INITIAL CONDITIONS/DEMOLITION PLAN  
 SCALE 1"=40'

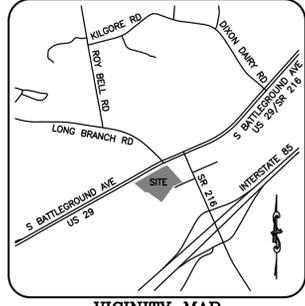


www.thrasherengr.com  
 Phone: 704-864-2201  
 300 S. Firestone St. | Suite 200 C | Gastonia, NC 28052  
 PROJECT #: R30-11069  
 MAP FILE #: 5119-B  
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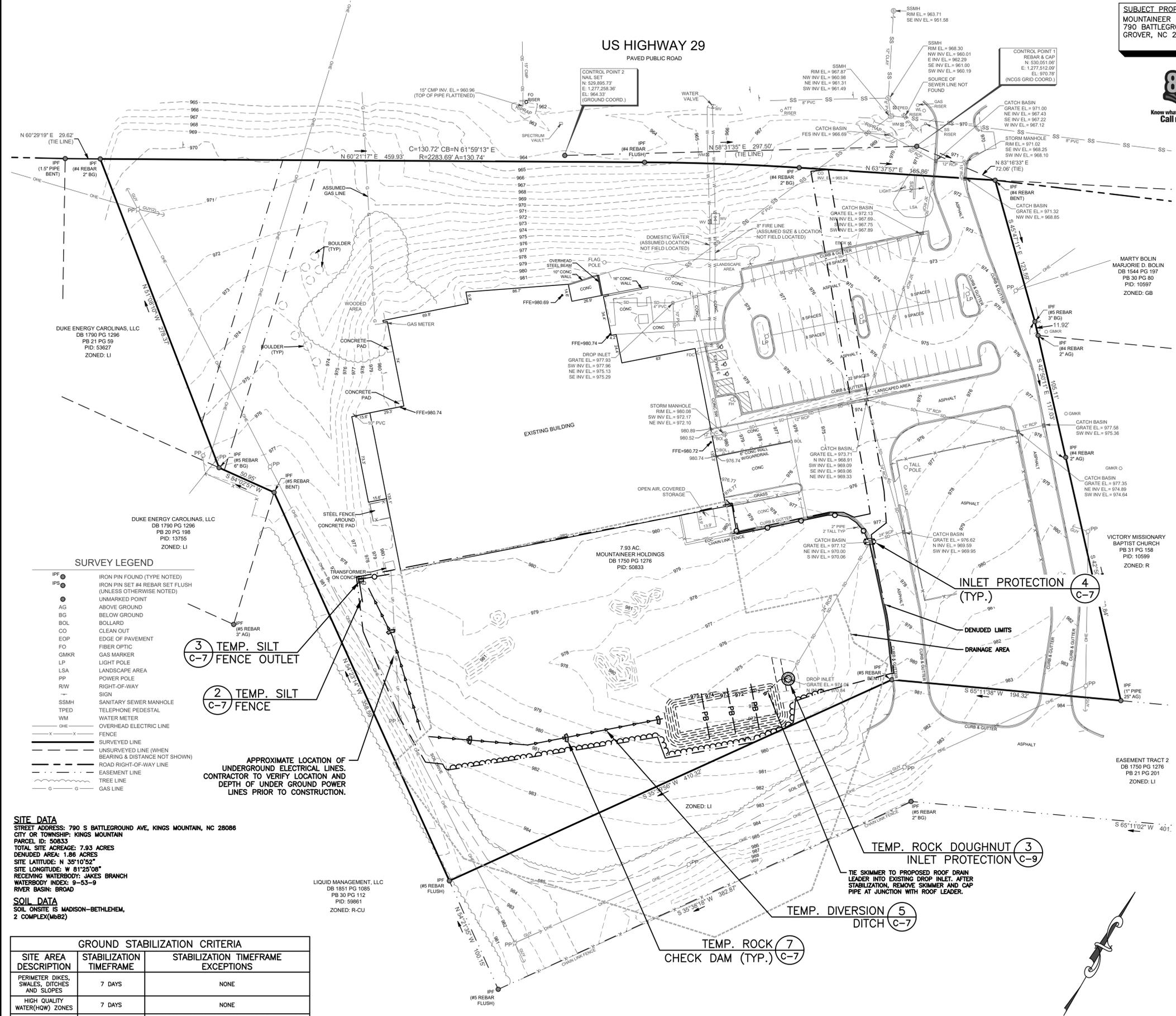
REVISIONS:

DATE	DESCRIPTION
9/13/24	REVISED TO KEEP CONC. PAD
11/27/24	M/E/P COORDINATION

**SUBJECT PROPERTY (OWNER)**  
 MOUNTAINEER HOLDINGS, LLC  
 790 BATTLEGROUND AVE.  
 GROVER, NC 28073



**US HIGHWAY 29**  
 PAVED PUBLIC ROAD



**LEGEND**

	SILT FENCE
	CLEARING LIMITS
	DENUDED LIMITS
	INLET PROTECTION
	SILT FENCE OUTLET
	TEMP. ROCK CHECK DAM
	DIVERSION DITCH
	ROCK DOUGHNUT INLET PROTECTION

- EROSION CONTROL NOTES**
- THE UTILITIES AND THE LOCATIONS THEREOF, SHOWN ON THE DRAWINGS, REPRESENT THE DESIGNER'S UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND EXISTENCE OF ALL UTILITIES ETC. WITHIN THE CONSTRUCTION AREA WITH THE OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING ANY EXCAVATION OR CONSTRUCTION. CALL NC ONE-CALL 48 HOURS PRIOR TO DIGGING. THE OMISSION OR INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF, OR DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
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  - THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CONFINE DISTURBED AREAS TO A MINIMUM. ALL AREAS DISTURBED BY THE CONTRACTOR DURING DEMOLITION SHALL BE IMMEDIATELY RESEDED.
  - CONTRACTOR TO CONTACT NCEQ AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF THE LAND-DISTURBING ACTIVITY.
  - IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN APPROVAL FROM NCEQ FOR OFFSITE BORROW AREA IF IT BECOMES NECESSARY.
  - CLEARING LIMITS SHALL BE AS SHOWN ON THIS PLAN.
  - IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROVIDE ON-SITE SAFETY MEASURES, INCLUDING BUT NOT LIMITED TO: CHAIN LINK FENCE ENCLOSURE OF SEDIMENT BASINS AND/OR SITE ACCESS CONTROL.
  - SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE SCHEDULE ON THIS SHEET.
  - MAINTENANCE: CHECK SEDIMENT TRAPS/BASINS AFTER PERIODS OF SIGNIFICANT RAINFALL. REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT ACCUMULATES TO ONE-HALF THE DESIGN DEPTH. CHECK THE EMBANKMENT, SPLICES, AND OUTLET FOR EROSION DAMAGE, AND INSPECT THE EMBANKMENT FOR PIPING AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE RISER OR FILTER AND POOL AREA.
  - EARTHEN-MATERIAL STOCKPILE AREAS SHALL BE LOCATED AT LEAST 50' AWAY FROM STORM DRAIN INLETS AND SURFACE WATERS.

**SURVEY LEGEND**

IPF	IRON PIN FOUND (TYPE NOTED)
IPS	IRON PIN SET #4 REBAR SET FLUSH (UNLESS OTHERWISE NOTED)
●	UNMARKED POINT
AG	ABOVE GROUND
BG	BELOW GROUND
BOLL	BOLLARD
CO	CLEAN OUT
EOP	EDGE OF PAVEMENT
FO	FIBER OPTIC
GMKR	GAS MARKER
LP	LIGHT POLE
LSA	LANDSCAPE AREA
PP	POWER POLE
R/W	RIGHT-OF-WAY
SIGN	SIGN
SSMH	SANITARY SEWER MANHOLE
TPED	TELEPHONE PEDESTAL
WM	WATER METER
OHE	OVERHEAD ELECTRIC LINE
X	FENCE
---	SURVEYED LINE
---	UNSURVEYED LINE (WHEN BEARING & DISTANCE NOT SHOWN)
---	ROAD RIGHT-OF-WAY LINE
---	EASEMENT LINE
G	TREE LINE
G	GAS LINE

**SITE DATA**  
 STREET ADDRESS: 790 S BATTLEGROUND AVE, KINGS MOUNTAIN, NC 28086  
 CITY OR TOWNSHIP: KINGS MOUNTAIN  
 PARCEL ID: 50833  
 TOTAL SITE ACREAGE: 7.93 ACRES  
 DENUDED AREA: 1.66 ACRES  
 SITE LATITUDE: N 35°10'52"  
 SITE LONGITUDE: W 81°25'08"  
 RECEIVING WATERBODY: JAKES BRANCH  
 WATERBODY INDEX: 9-53-9  
 RIVER BASIN: BROAD

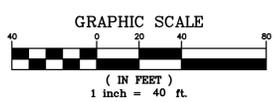
**SOIL DATA**  
 SOIL ONSITE IS MADISON-BETHLEHEM,  
 2 COMPLEX(Mb82)

LIQUID MANAGEMENT, LLC  
 DB 1851 PG 1085  
 PB 30 PG 112  
 PID: 59881  
 ZONED: R-CU

**GROUND STABILIZATION CRITERIA**

SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER(HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE(EXCEPT FOR PERIMETERS AND HQW ZONES)

**EROSION CONTROL PLAN PHASE 1**  
 SCALE 1"=40'



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 SC COA 841

PROJECT #: R30-11069  
 MAP FILE #: 5119-B

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 409 E. MARION ST. (28150) FAX 704-482-5596

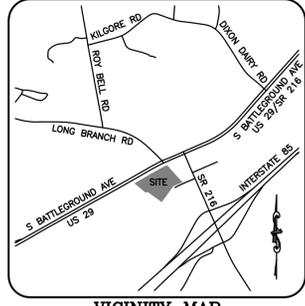
**ADDITION TO CHEYENNE INTL.**  
 790 S. BATTLEGROUND AVE.  
 Grover, North Carolina 29703

COMM. NUMBER: 036  
 DATE: JULY 18, 2024  
 SHEET C-2  
 5 OF 55

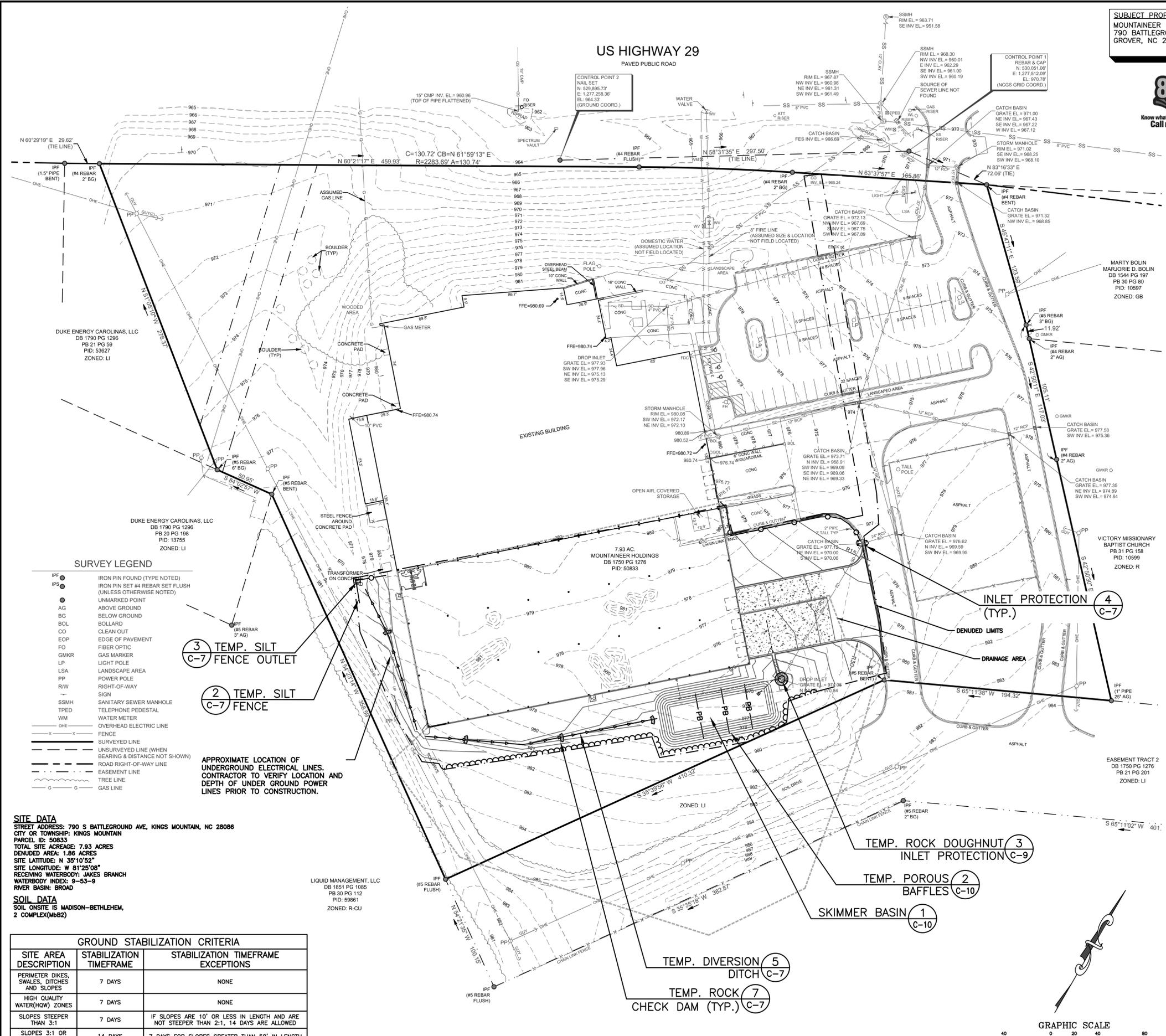
REVISIONS:

DATE	DESCRIPTION
9/13/24	REVISED TO KEEP CONC. PAD
11/27/24	M/E/P COORDINATION

**SUBJECT PROPERTY (OWNER)**  
 MOUNTAINEER HOLDINGS, LLC  
 790 BATTLEGROUND AVE.  
 GROVER, NC 28073



**US HIGHWAY 29**  
 PAVED PUBLIC ROAD



**LEGEND**

	SILT FENCE
	CLEARING LIMITS
	DENUDED LIMITS
	INLET PROTECTION
	SILT FENCE OUTLET
	TEMP. ROCK CHECK DAM
	DIVERSION DITCH
	ROCK DOUGHNUT INLET PROTECTION

- EROSION CONTROL NOTES**
- THE UTILITIES AND THE LOCATIONS THEREOF, SHOWN ON THE DRAWINGS, REPRESENT THE DESIGNER'S UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND EXISTENCE OF ALL UTILITIES ETC. WITHIN THE CONSTRUCTION AREA WITH THE OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING ANY EXCAVATION OR CONSTRUCTION. CALL NC ONE-CALL 48 HOURS PRIOR TO DIGGING. THE OMISSION OR INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF, OR DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
  - BOUNDARY AND TOPOGRAPHICAL INFORMATION TAKEN FROM SURVEY DONE BY THE THRASHER GROUP NORTH CAROLINA, DATED 27 MARCH 2024.
  - FLOOD HAZARD OVERLAY DISTRICT: THIS PROPERTY HAS BEEN DETERMINED TO LIE OUTSIDE OF A SPECIAL FLOOD HAZARD AREA. THIS SITE IS SHOWN TO BE IN AREAS DESIGNATED NON-SHADED ZONE "X". SEE FEMA PANEL \*3710257200J, EFFECTIVE DATE 02/20/2008.
  - REMOVE ALL CLEARING AND DEMOLITION WASTE FROM THIS SITE AND DISPOSE OF LEGALLY IN A DEMOLITION LANDFILL.
  - THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CONFINE DISTURBED AREAS TO A MINIMUM. ALL AREAS DISTURBED BY THE CONTRACTOR DURING DEMOLITION SHALL BE IMMEDIATELY RESEDED.
  - CONTRACTOR TO CONTACT NCDCEQ AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF THE LAND-DISTURBING ACTIVITY.
  - IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN APPROVAL FROM NCDCEQ FOR OFFSITE BORROW AREA IF IT BECOMES NECESSARY.
  - CLEARING LIMITS SHALL BE AS SHOWN ON THIS PLAN.
  - IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROVIDE ON-SITE SAFETY MEASURES, INCLUDING BUT NOT LIMITED TO: CHAIN LINK FENCE ENCLOSURE OF SEDIMENT BASINS AND/OR SITE ACCESS CONTROL.
  - SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE SCHEDULE ON THIS SHEET.
  - MAINTENANCE: CHECK SEDIMENT TRAPS/BASINS AFTER PERIODS OF SIGNIFICANT RUNOFF. REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT ACCUMULATES TO ONE-HALF THE DESIGN DEPTH. CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DAMAGE, AND INSPECT THE EMBANKMENT FOR PIPING AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE RISER OR FILTER AND POOL AREA.
  - EARTHEN-MATERIAL STOCKPILE AREAS SHALL BE LOCATED AT LEAST 50' AWAY FROM STORM DRAIN INLETS AND SURFACE WATERS.

**SURVEY LEGEND**

IPF	IRON PIN FOUND (TYPE NOTED)
IPS	IRON PIN SET #4 REBAR SET FLUSH (UNLESS OTHERWISE NOTED)
●	UNMARKED POINT
AG	ABOVE GROUND
BG	BELOW GROUND
BOLL	BOLLARD
CO	CLEAN OUT
EOP	EDGE OF PAVEMENT
FO	FIBER OPTIC
GMKR	GAS MARKER
LP	LIGHT POLE
LSA	LANDSCAPE AREA
PP	POWER POLE
R/W	RIGHT-OF-WAY
—	SIGN
SSMH	SANITARY SEWER MANHOLE
TPED	TELEPHONE PEDESTAL
WM	WATER METER
OHE	OVERHEAD ELECTRIC LINE
— x —	FENCE
—	SURVEYED LINE
- - -	UNSURVEYED LINE (WHEN BEARING & DISTANCE NOT SHOWN)
- - -	ROAD RIGHT-OF-WAY LINE
- - -	EASEMENT LINE
—	TREE LINE
G	GAS LINE

APPROXIMATE LOCATION OF UNDERGROUND ELECTRICAL LINES. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF UNDER GROUND POWER LINES PRIOR TO CONSTRUCTION.

**SITE DATA**  
 STREET ADDRESS: 790 S BATTLEGROUND AVE, KINGS MOUNTAIN, NC 28086  
 CITY OR TOWNSHIP: KINGS MOUNTAIN  
 PARCEL ID: 50833  
 TOTAL SITE ACREAGE: 7.93 ACRES  
 DENUDED AREA: 1.86 ACRES  
 SITE LATITUDE: N 35°10'52"  
 SITE LONGITUDE: W 81°25'08"  
 RECEIVING WATERBODY: JAKES BRANCH  
 WATERBODY INDEX: 9-53-9  
 RIVER BASIN: BROAD

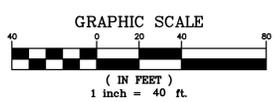
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LIQUID MANAGEMENT, LLC  
 DB 1851 PG 1085  
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**EROSION CONTROL PLAN PHASE 2**  
 SCALE 1"=40'



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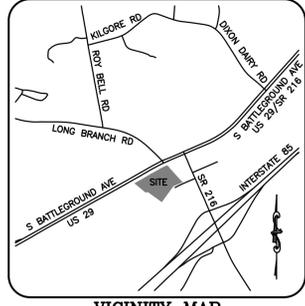
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COMM. NUMBER: 036  
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 SHEET C-3  
 6 OF 55

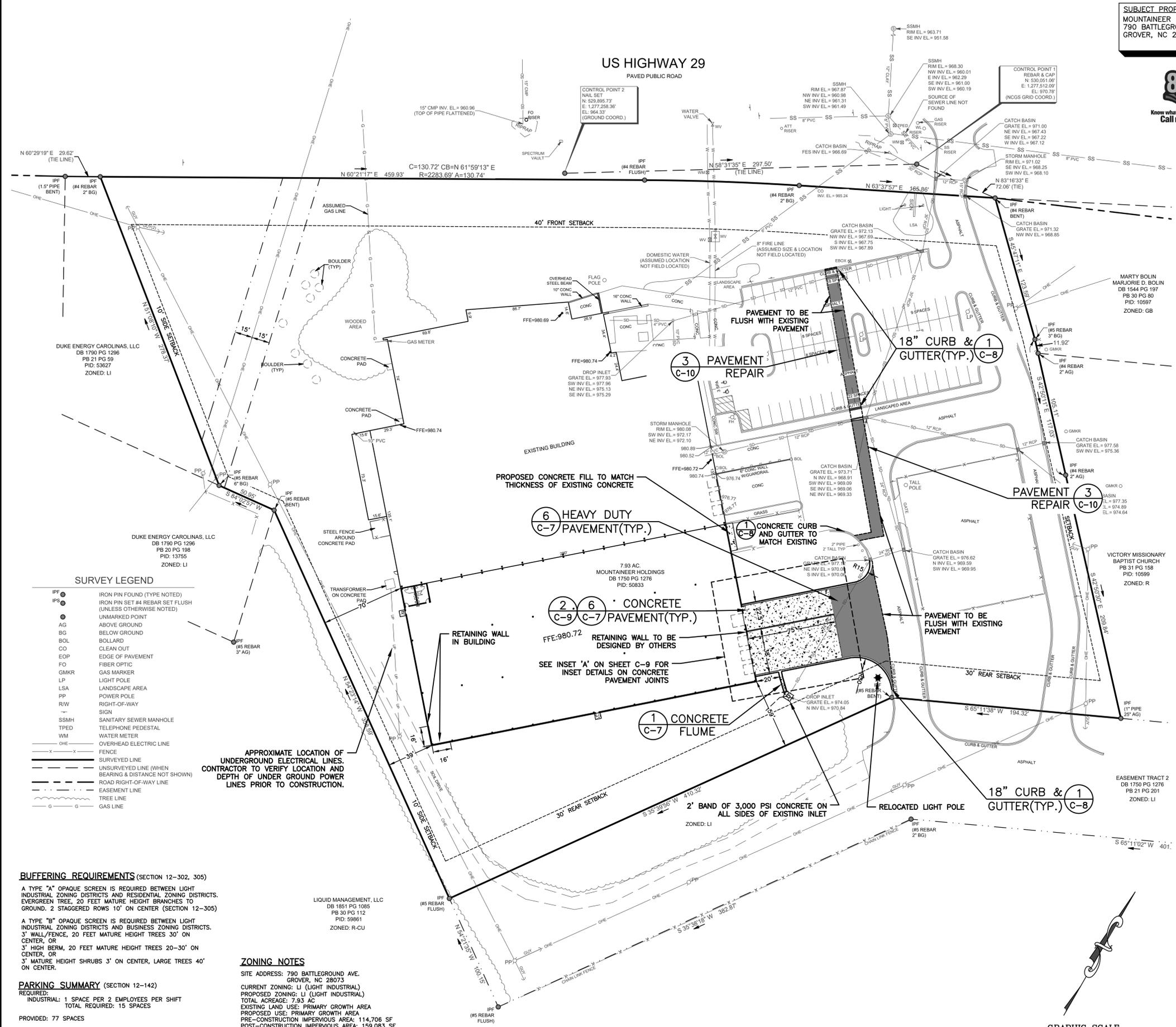
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DATE	DESCRIPTION
9/13/24	REVISED TO KEEP CONC. PAD M/E/P COORDINATION
11/27/24	

**SUBJECT PROPERTY (OWNER)**  
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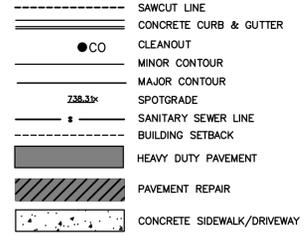
**US HIGHWAY 29**  
 PAVED PUBLIC ROAD



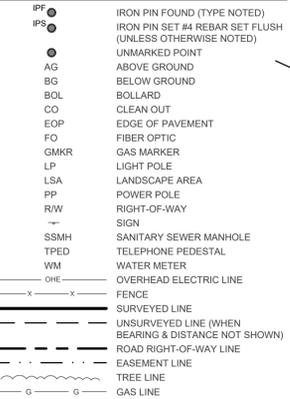
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- PROVIDE "COMPETENT" CARD CARRYING INDIVIDUALS FOR OSHA REGULATIONS.

**PROPOSED LEGEND**



**SURVEY LEGEND**



APPROXIMATE LOCATION OF UNDERGROUND ELECTRICAL LINES. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF UNDER GROUND POWER LINES PRIOR TO CONSTRUCTION.

**BUFFERING REQUIREMENTS** (SECTION 12-302, 305)

A TYPE "A" OPAQUE SCREEN IS REQUIRED BETWEEN LIGHT INDUSTRIAL ZONING DISTRICTS AND RESIDENTIAL ZONING DISTRICTS. EVERGREEN TREE, 20 FEET MATURE HEIGHT BRANCHES TO GROUND. 2 STAGGERED ROWS 10' ON CENTER (SECTION 12-305)

A TYPE "B" OPAQUE SCREEN IS REQUIRED BETWEEN LIGHT INDUSTRIAL ZONING DISTRICTS AND BUSINESS ZONING DISTRICTS. 3' WALL/FENCE, 20 FEET MATURE HEIGHT TREES 30' ON CENTER, OR 3' HIGH BERM, 20 FEET MATURE HEIGHT TREES 20-30' ON CENTER, OR 3' MATURE HEIGHT SHRUBS 3' ON CENTER, LARGE TREES 40' ON CENTER.

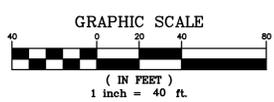
**PARKING SUMMARY** (SECTION 12-142)

INDUSTRIAL: 1 SPACE PER 2 EMPLOYEES PER SHIFT  
 TOTAL REQUIRED: 15 SPACES  
 PROVIDED: 77 SPACES

**ZONING NOTES**

SITE ADDRESS: 790 BATTLEGROUND AVE. GROVER, NC 28073  
 CURRENT ZONING: LI (LIGHT INDUSTRIAL)  
 PROPOSED ZONING: LI (LIGHT INDUSTRIAL)  
 TOTAL ACREAGE: 7.93 AC  
 EXISTING LAND USE: PRIMARY GROWTH AREA  
 PROPOSED USE: PRIMARY GROWTH AREA  
 PRE-CONSTRUCTION IMPERVIOUS AREA: 114,706 SF  
 POST-CONSTRUCTION IMPERVIOUS AREA: 159,083 SF  
 DEED BOOK/PAGE: 1750/1276  
 SETBACKS(SEC. 12-173):  
 FRONT ARTERIAL STREET: 40'  
 SIDE: 10'  
 REAR: 30'

**SITE PLAN**  
 SCALE 1"=40'



**TALLEY & SMITH ARCHITECTURE, INC.**  
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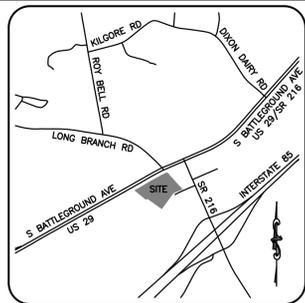
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COMM. NUMBER: 036  
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 7 OF 55

**THE THRASHER GROUP North Carolina**  
 www.thrashergrpgroup.com  
 Phone: 704-884-2200  
 300 S. Firestone St. | Suite 200 C | Gastonia, NC 28052  
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**US HIGHWAY 29**  
PAVED PUBLIC ROAD

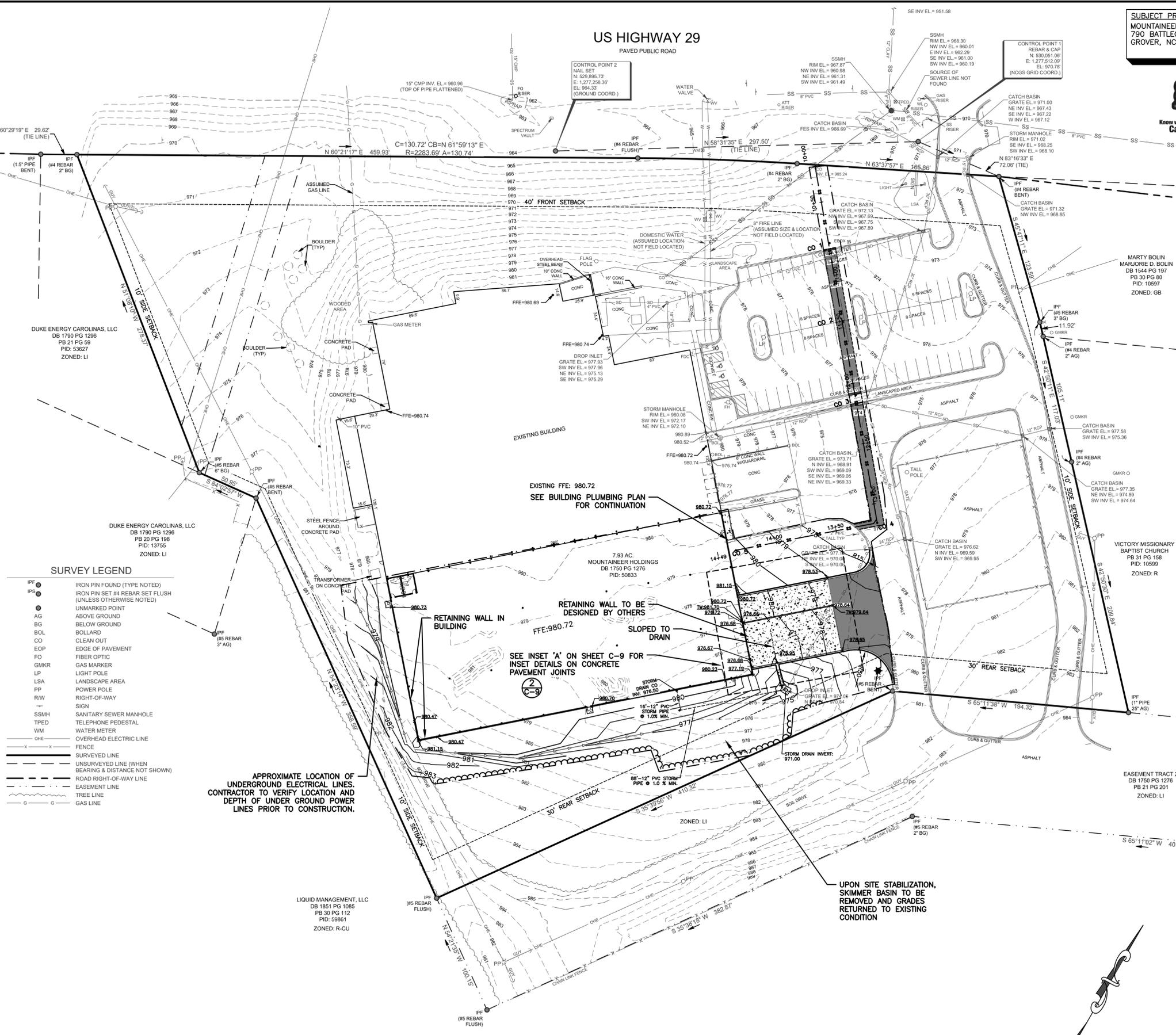
**SUBJECT PROPERTY (OWNER)**  
MOUNTAINEER HOLDINGS, LLC  
790 BATTLEGROUND AVE.  
GROVER, NC 28073



DWG. FILE NAME: R30-11069 BASE  
PLOT SCALE: 1" = 40'

REVISIONS:

DATE	DESCRIPTION
9/13/24	REVISED TO KEEP CONC. PAD
11/27/24	M/E/P COORDINATION



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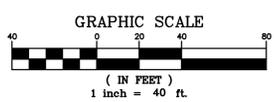
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—	TREE LINE
—	GAS LINE

APPROXIMATE LOCATION OF UNDERGROUND ELECTRICAL LINES. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF UNDER GROUND POWER LINES PRIOR TO CONSTRUCTION.

**PROPOSED LEGEND**

---	SAWCUT LINE
---	CONCRETE CURB & GUTTER
●CO	CLEANOUT
---	MINOR CONTOUR
---	MAJOR CONTOUR
---	SPOTGRADE
---	SANITARY SEWER LINE
---	BUILDING SETBACK
---	CONCRETE JOINT
---	HEAVY DUTY PAVEMENT
---	PAVEMENT REPAIR
---	CONCRETE SIDEWALK/DRIVEWAY



**GRADING & UTILITY PLAN**  
SCALE 1"=40'



www.thrashergrp.com  
Phone: 704-884-2200  
300 S. Firestone St. | Suite 200 C | Gastonia, NC 28052  
NC License #: F-0338  
SC COA 841  
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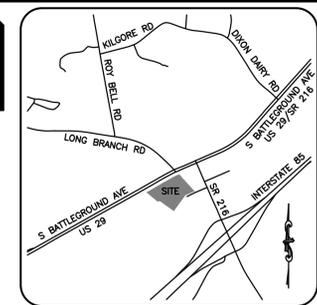
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REVISIONS:

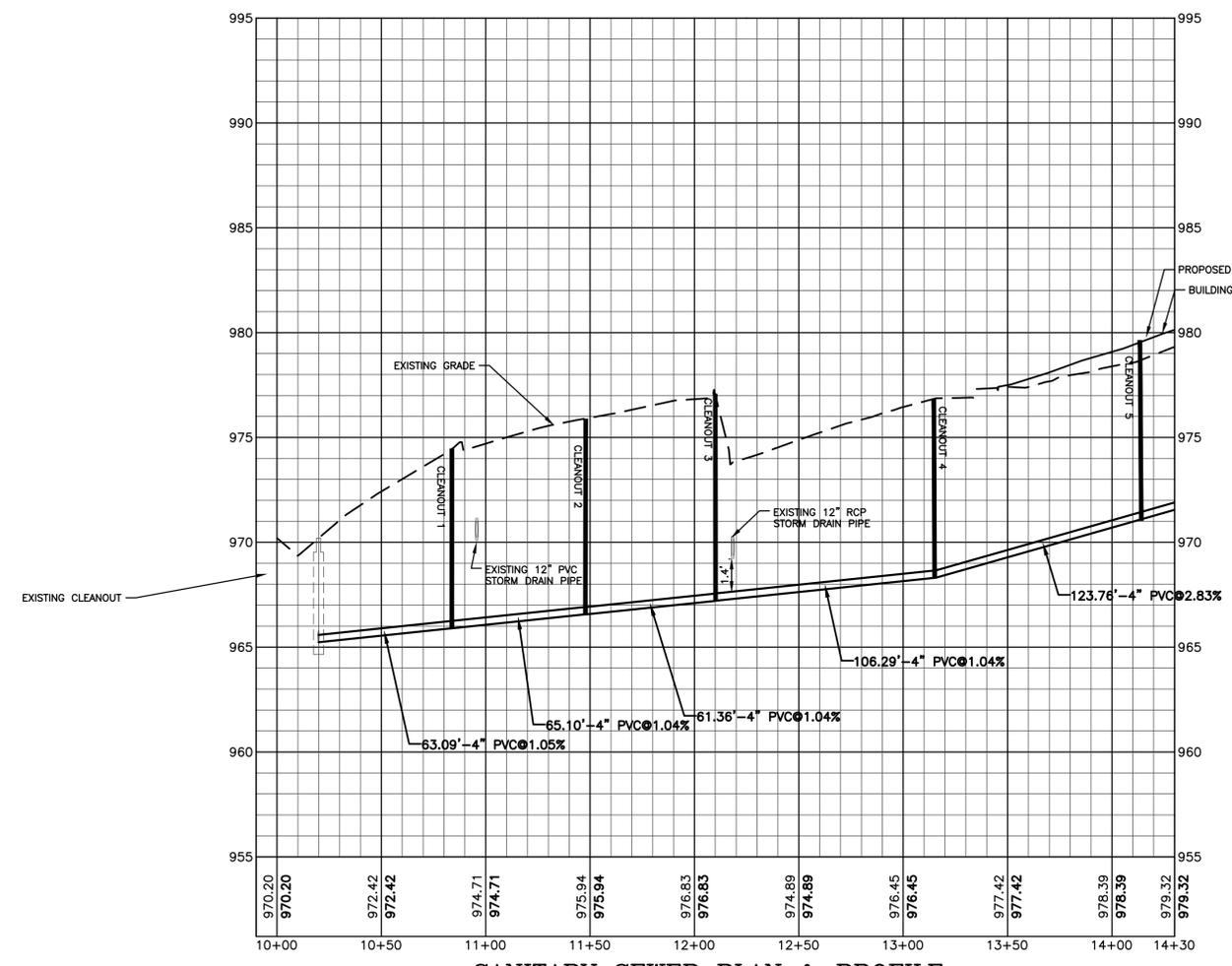
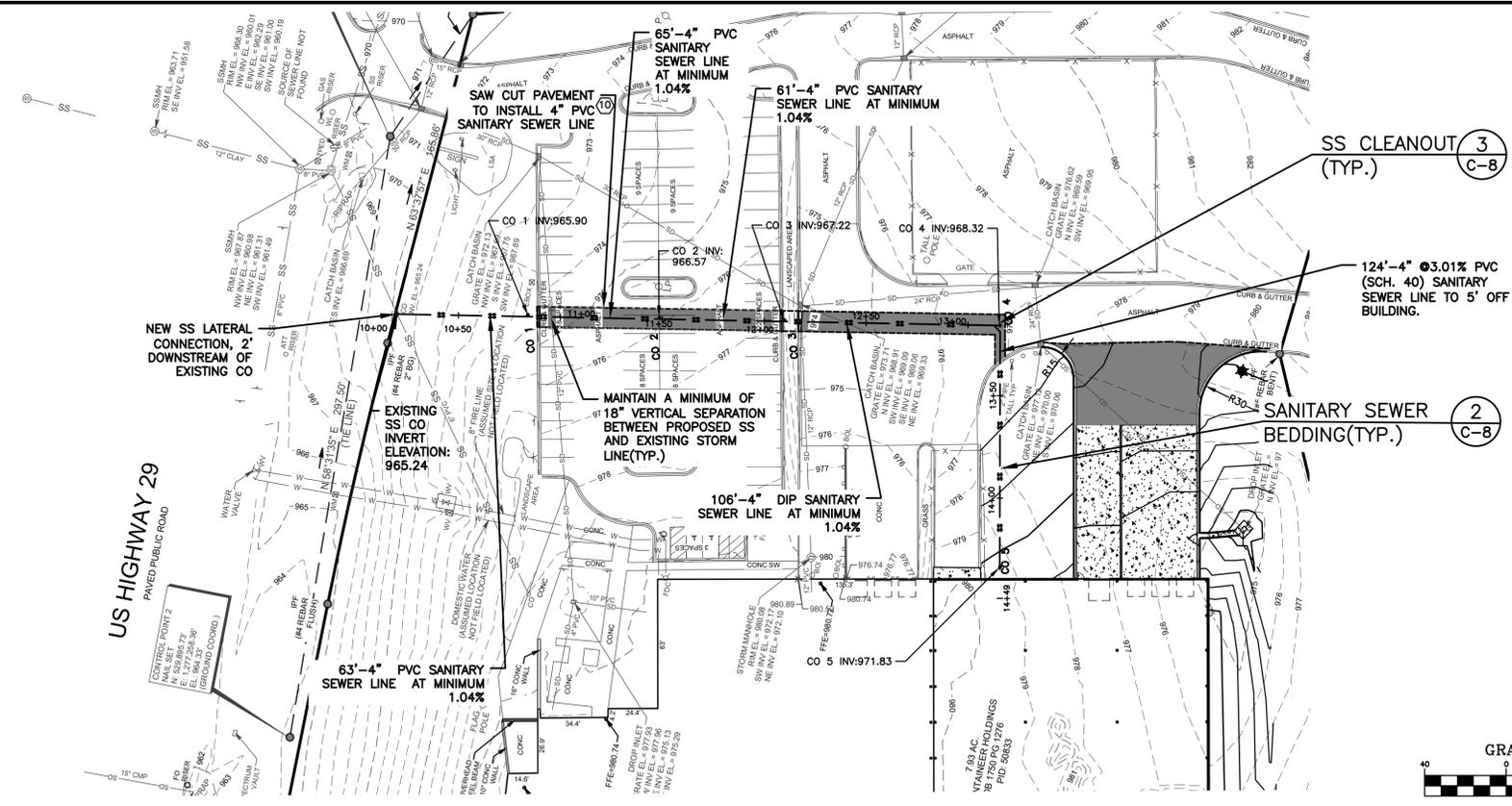
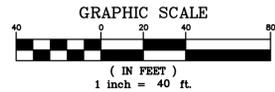
DATE	DESCRIPTION
9/13/24	REVISED TO KEEP CONC. PAD
11/27/24	M/E/P COORDINATION

SUBJECT PROPERTY (OWNER)  
MOUNTAINEER HOLDINGS, LLC  
790 BATTLEGROUND AVE.  
GROVER, NC 28073



PROPOSED LEGEND

- SAWCUT LINE
  - CONCRETE CURB & GUTTER
  - CO CLEANOUT
  - MINOR CONTOUR
  - MAJOR CONTOUR
  - SPOTGRADE
  - SANITARY SEWER LINE
  - BUILDING SETBACK
  - CONCRETE JOINT
  - HEAVY DUTY PAVEMENT
  - PAVEMENT REPAIR
  - CONCRETE SIDEWALK/DRIVEWAY
- SEE SHEET C-9 FOR INSET A WITH CONCRETE JOINT DETAILS



SANITARY SEWER PLAN & PROFILE  
SCALE 1"=40'

GENERAL SITE NOTES

- 1 THE UTILITIES AND THE LOCATIONS THEREOF, SHOWN ON THE DRAWINGS, REPRESENT THE DESIGNER'S UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND EXISTENCE OF ALL UTILITIES ETC. WITHIN THE CONSTRUCTION AREA WITH THE OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING ANY EXCAVATION OR CONSTRUCTION. CALL NC ONE-CALL 48 HOURS PRIOR TO DIGGING. THE OMISSION OR INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF, OR DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 2 BOUNDARY AND TOPOGRAPHICAL INFORMATION TAKEN FROM SURVEY DONE BY THE THRASHER GROUP NORTH CAROLINA, DATED 27 MARCH 2024.
- 3 FLOOD HAZARD OVERLAY DISTRICT: THIS PROPERTY HAS BEEN DETERMINED TO LIE OUTSIDE OF A SPECIAL FLOOD HAZARD AREA. THIS SITE IS SHOWN TO BE IN AREAS DESIGNATED NON-SHADED ZONE "X". SEE FEMA PANEL \*3710257200J, EFFECTIVE DATE 02/20/2008.
- 4 EXACT LOCATIONS OF ALL UTILITY SERVICES (WATER, SEWER, GAS, ETC.) TO BE COORDINATED WITH THE OWNER AND MECHANICAL/PLUMBING ENGINEER
- 5 CONTRACTOR TO COORDINATE ANY PROBLEMS OR FIELD CONDITIONS, THAT MAY CHANGE THE DESIGN, WITH THE ENGINEER PRIOR TO PROCEEDING.
- 6 PROPOSED SEWER SERVICE TO BE 4" PVC(ASTM D2241, SDR 13.5) WITH CLEANOUTS AS PER BUILDING CODE. SEWER SERVICE CLEANOUTS ARE TO BE SET FLUSH WITH FINISHED GRADE.
- 7 CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL UTILITIES. CONFLICTING UTILITIES MUST BE RELOCATED IN ACCORDANCE WITH APPROPRIATE UTILITY REQUIREMENTS.
- 8 PROVIDE "COMPETENT" CARD CARRYING INDIVIDUALS FOR OSHA REGULATIONS.
- 9 A MINIMUM OF 3" COVER SHALL BE MAINTAINED OVER ALL INSTALLED SANITARY SEWER PIPING.
- 10 SANITARY SEWER ALTERNATE DESIGN: BORE UNDERNEATH PAVEMENT, 4" DIP SS PIPE TO BE USED. CLEAN OUTS 1, 2, & 3 SHALL NOT BE INSTALLED WITH THIS OPTION. CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO BEGINNING THIS WORK.



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Phone: 704-884-2200  
300 S. Freestone St. | Suite 200 C | Gastonia, NC 28052

PROJECT #: R30-11069 MAP FILE #: 5119-B

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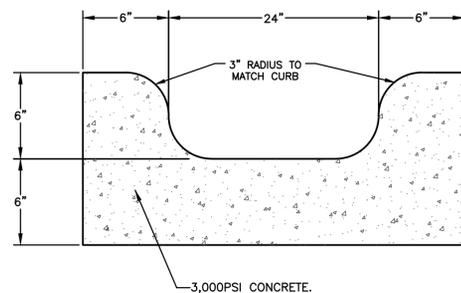
ADDITION TO  
CHEYENNE INTL.  
790 S. BATTLEGROUND AVE.  
Grover, North Carolina 29703

COMM. NUMBER: 036  
DATE: JULY 18, 2024

SHEET  
C-6  
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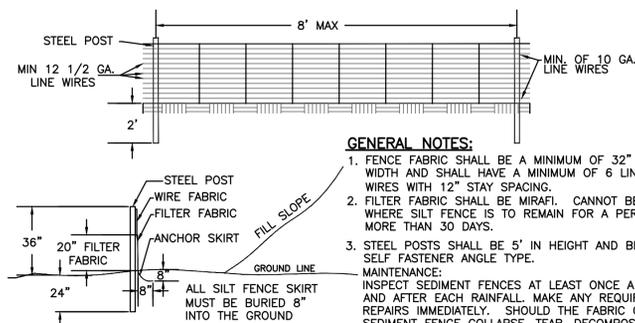
REVISIONS:

DATE	DESCRIPTION



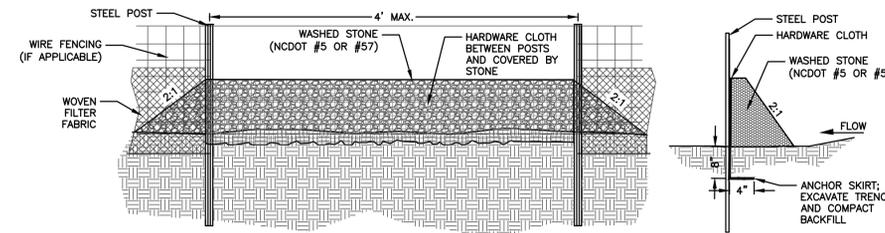
1 CONCRETE FLUME  
C-7

SCALE: NONE



2 TEMPORARY SILT FENCE  
C-7

SCALE: NONE



3 TEMPORARY SILT FENCE OUTLET  
C-7

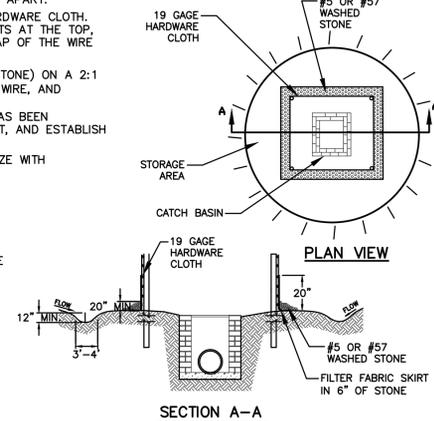
SCALE: NONE

GENERAL NOTES:

- UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
- DRIVE 5-FOOT STEEL POSTS 2' INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4' APART.
- SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM. PLACE A 2-FOOT FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING.
- PLACE CLEAN GRAVEL (NCDOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 18" AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
- ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
- COMPACT THE AREA PROPERLY AND STABILIZE WITH GROUND COVER.

REQUIRED MAINTENANCE:

INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2" OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.



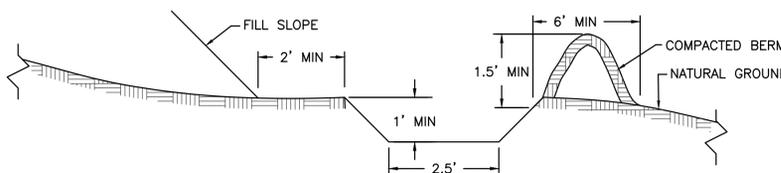
4 FABRIC INLET PROTECTION  
C-7

NOTE: SIDE SLOPES OF CHANNEL LINED WITH NORTH AMERICAN GREEN C350 - STAPLE PATTERN D

SCALE: NONE

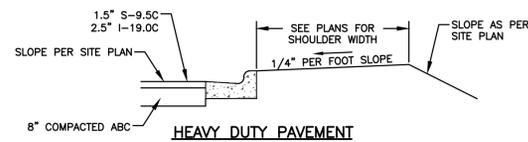
GENERAL NOTES:

- SEED AND MULCH TEMPORARY DIVERSIONS THAT WILL SERVE MORE THAN 30 WORKING DAYS.
- MAINTENANCE: INSPECT TEMPORARY DIVERSIONS ONCE A WEEK AND AFTER EVERY RAINFALL. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED. WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVE THE RIDGE AND THE CHANNEL TO BLEND WITH THE NATURAL GROUND LEVEL AND APPROPRIATELY STABILIZE IT.

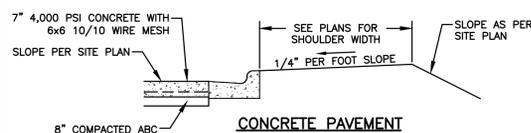


5 DIVERSION DITCH  
C-7

SCALE: NONE



HEAVY DUTY PAVEMENT



CONCRETE PAVEMENT

GENERAL NOTES:

- THE CONTRACTOR IS TO PITCH GUTTER AWAY FROM CURB AS REQUIRED FOR PROPER DRAINAGE.
- BITUMINOUS PAVEMENT AVERAGE DENSITY: 96% OF REFERENCE MAXIMUM THEORETICAL DENSITY ACCORDING TO ASTM D2041, BUT NOT LESS THAN 90% OR GREATER THAN 100%.
- AGGREGATE BASE COURSE: COMPACT BASE COURSE AT OPTIMUM MOISTURE CONTENT TO REQUIRED GRADES, LINES, CROSS SECTIONS, AND THICKNESS TO NOT LESS THAN 95% OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D698.
- PAVEMENT SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D698.
- APPLY PRIME COAT AT A RATE OF 0.10 TO 0.30 GAL./SQ. YD.

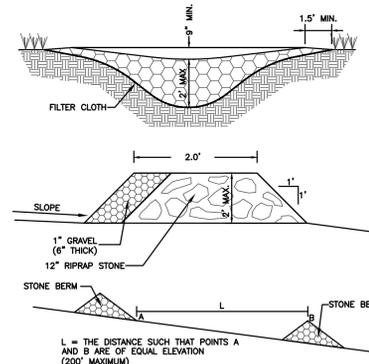
6 HEAVY DUTY & CONCRETE PAVEMENT  
C-7

SCALE: NONE

MAINTENANCE:

- INSPECT DAMS AT LEAST ONCE WEEKLY AND AFTER SIGNIFICANT (1/2" OR GREATER) RAINFALL EVENTS AND REPAIR IMMEDIATELY. CLEAN OUT SEDIMENT, STRAW, LIMBS, OR OTHER DEBRIS THAT COULD CLOG THE CHANNEL WHEN NEEDED.
- ANTICIPATE SUBMERGENCE AND DEPOSITION ABOVE THE CHECK DAM AND EROSION FROM HIGH FLOWS AROUND THE EDGES OF THE DAM. CORRECT ALL DAMAGE IMMEDIATELY. IF SIGNIFICANT EROSION OCCURS BETWEEN DAMS, ADDITIONAL MEASURES CAN BE TAKEN SUCH AS, INSTALLING A PROTECTIVE RIP RAP LINER IN THAT PORTION OF THE CHANNEL.
- REMOVE SEDIMENT ACCUMULATED BEHIND THE DAMS AS NEEDED TO PREVENT DAMAGE TO CHANNEL VEGETATION, ALLOW THE CHANNEL TO DRAIN THROUGH THE STONE CHECK DAM, AND PREVENT LARGE FLOWS FROM CARRYING SEDIMENT OVER THE DAM. ADD STONES TO DAMS AS NEEDED TO MAINTAIN DESIGN HEIGHT AND CROSS SECTION.

7 TEMPORARY CHECK DAM  
C-7



SITE DETAILS  
SCALE: N.T.S.

SCALE: NONE

PROJECT NARRATIVE

- GENERAL DESCRIPTION OF PROJECT: THE PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW WAREHOUSE ADDITION AND ASSOCIATED PAVING, UTILITY, AND STORM DRAINAGE IMPROVEMENTS. THE SITE IS LOCATED IN CLEVELAND COUNTY, NC. THE SUBJECT PARCEL IS 7.93 ACRES. APPROXIMATELY 1.86 ACRES WILL BE DISTURBED THROUGH THE DURATION OF THE PROJECT. THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.
- LENGTH OF TIME PROJECT TO BE UNDER CONSTRUCTION: 120-180 DAYS
- APPROXIMATE DATE PROJECT TO BEGIN: FALL 2024
- SEQUENCE OF DEVELOPMENT:
  - OBTAIN APPROVAL OF PLANS FROM THE FOLLOWING AGENCIES
    - CLEVELAND COUNTY, NC.
  - CONTRACTOR TO SET UP PRE-CONSTRUCTION MEETING WITH CLEVELAND COUNTY (704-484-4900) PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - INSTALL GRAVEL CONSTRUCTION ENTRANCES AS INDICATED ON THE PLANS AT EACH ROADWAY ENTRANCE TO THE PROPERTY.
  - CLEAR & GRUB AREAS NECESSARY TO INSTALL ALL SEDIMENT TRAPS/BASINS. INSTALL TEMPORARY SEDIMENT TRAP, TEMPORARY DIVERSION DITCHES AND ALL SILT FENCE CALLED FOR ON THE PLANS.
  - AFTER INSTALLATION OF EROSION CONTROL MEASURES CALLED FOR ON THE PLANS, CONTACT CLEVELAND COUNTY NATURAL RESOURCES DEPARTMENT FOR INSPECTION OF MEASURES.
  - AFTER APPROVAL BY CLEVELAND COUNTY NATURAL RESOURCES DEPARTMENT, CLEAR AND GRUB AS NECESSARY THE ENTIRE AREA TO BE GRADED AS INDICATED ON THE PLANS.
  - BEGIN GRADING PROPOSED PARKING AND BUILDING AREA. CREATE AND MAINTAIN DIVERSION DITCHES AS GRADING PROGRESSES. INSTALL GRAVEL CHECK DAMS WHERE SHOWN ON THE PLANS AS PART OF STABILIZATION MEASURES.
  - DURING INITIAL GRADING, TEMPORARY DIVERSION DITCHES ARE TO BE IN PLACE AT THE END OF EACH WORKING DAY AND BEFORE ANY EXTENDED LEAVE FROM CONSTRUCTION. AS GRADING PROGRESSES AND FINAL GRADES ARE OBTAINED, INSTALL STORM DRAINAGE PIPE AS CALLED FOR ON THE PLANS.
  - SLOPES LEFT EXPOSED SHALL BE PLANTED OR OTHERWISE PROVIDED WITH GROUND COVER, DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION AS SPECIFIED IN THE GROUND STABILIZATION CRITERIA SCHEDULE BELOW.
  - UPON COMPLETION OF CONSTRUCTION, GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE IN PLACE AS SPECIFIED IN THE GROUND STABILIZATION CRITERIA SCHEDULE BELOW.
  - MAINTENANCE: SEE INDIVIDUAL DETAILS FOR MAINTENANCE REQUIREMENTS FOR EACH TYPE OF EROSION CONTROL MEASURE.
  - UPON STABILIZATION OF SITE AND APPROVAL BY CLEVELAND COUNTY NATURAL RESOURCES, REMOVE ALL TEMPORARY MEASURES. RETURN AREA AROUND SEDIMENT TRAP TO ORIGINAL GRADES.



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PROJECT #: R30-11069  
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COMM. NUMBER: 036  
DATE: JULY 18, 2024

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10 OF 55

**GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT**

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

**SECTION E: GROUND STABILIZATION**

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

**GROUND STABILIZATION SPECIFICATION**

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> <li>Temporary grass seed covered with straw or other mulches and tackifiers</li> <li>Hydroseeding</li> <li>Roll erosion control products with or without temporary grass seed</li> <li>Appropriately applied straw or other mulch</li> <li>Plastic sheeting</li> </ul>	<ul style="list-style-type: none"> <li>Permanent grass seed covered with straw or other mulches and tackifiers</li> <li>Geotextile fabrics such as permanent soil reinforcement matting</li> <li>Hydroseeding</li> <li>Shrubs or other permanent plantings covered with mulch</li> <li>Uniform and evenly distributed ground cover sufficient to restrain erosion</li> <li>Structural measures such as concrete, asphalt or retaining walls</li> <li>Roll erosion control products with grass seed</li> </ul>

**POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

**EQUIPMENT AND VEHICLE MAINTENANCE**

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

**LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

**PAINT AND OTHER LIQUID WASTE**

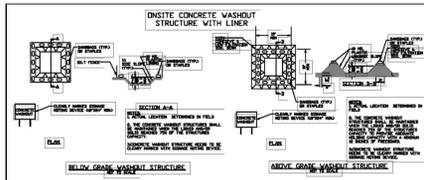
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

**PORTABLE TOILETS**

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

**EARTHEN STOCKPILE MANAGEMENT**

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



**CONCRETE WASHOUTS**

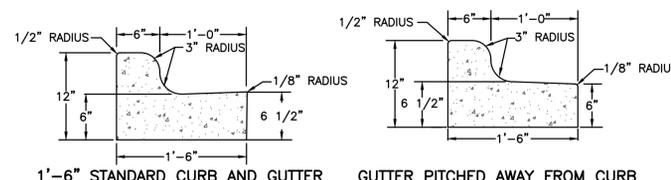
- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove loadings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining loadings and dispose in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

**HERBICIDES, PESTICIDES AND RODENTICIDES**

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

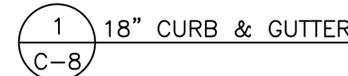
**HAZARDOUS AND TOXIC WASTE**

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

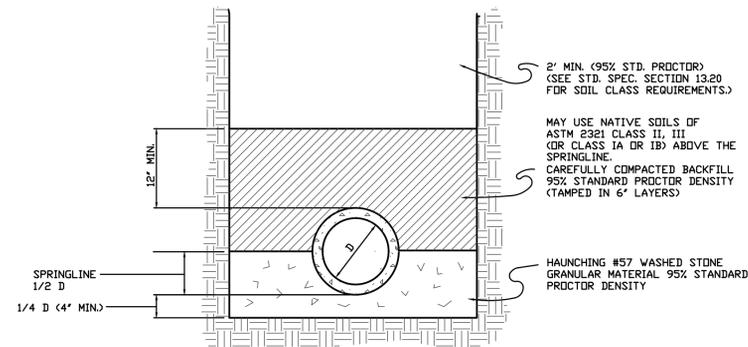


**GENERAL NOTES**

- CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES (REVISED JAN 1, 1990) SECTION 846.
- CONTRACTOR TO PITCH GUTTER SLOPE AWAY FROM CURB WHERE NECESSARY TO ALLOW FOR PROPER DRAINAGE.



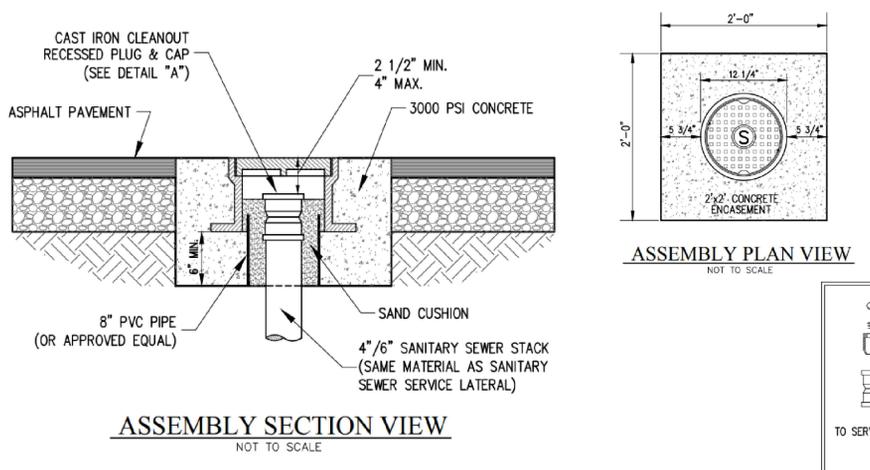
SCALE: NONE



**CLASS B COMPACTED GRANULAR BEDDING LOAD FACTOR 1.9**



SCALE: NONE



**ASSEMBLY SECTION VIEW NOT TO SCALE**

- NOTES:**
- APPROVED MANUFACTURERS: US FOUNDRY 7631 (OR APPROVED EQUAL).
  - TO BE USED IN ALL AREAS DESIGNED FOR TRAFFIC.



SCALE: NONE

**NCG01 GROUND STABILIZATION AND MATERIALS HANDLING EFFECTIVE: 04/01/19**

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION A: SELF-INSPECTION**

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual day rainfall information is available, record the cumulative rain measurement for those unattended days (use this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero". The permittee may use another rain-monitoring device approved by the Division.
(2) E&S Measures	At least once per 7 calendar days and within 24 hours of a rain event $\geq 1.0$ inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance needs for the measure. 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event $\geq 1.0$ inch in 24 hours	1. Identification of the discharge outfalls inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or coloration. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event $\geq 1.0$ inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits. 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands on-site or off-site (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event $\geq 1.0$ inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item 2(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&S measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION B: RECORDKEEPING**

The approved E&S plan as well as any approved deviation shall be kept on the site. The approved E&S plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&S plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&S measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&S plan.	Initial and date each E&S measure on a copy of the approved E&S plan or complete, date and sign an inspection report that lists each E&S measure shown on the approved E&S plan. This documentation is required upon the initial installation of the E&S measures or if the E&S measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&S plan.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&S measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&S measures.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

**2. Additional Documentation to be Kept on Site**

In addition to the E&S plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

**3. Documentation to be Retained for Three Years**

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION C: REPORTING**

**1. Occurrences that Must be Reported**

- Permittees shall report the following occurrences:
- Visible sediment deposition in a stream or wetland.
  - Oil spills if:
    - They are 25 gallons or more,
    - They are less than 25 gallons but cannot be cleaned up within 24 hours,
    - They cause sheen on surface waters (regardless of volume), or
    - They are within 100 feet of surface waters (regardless of volume).
  - Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
  - Anticipated bypasses and unanticipated bypasses.
  - Noncompliance with the conditions of this permit that may endanger health or the environment.

**2. Reporting Timeframes and Other Requirements**

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 658-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.</li> <li>If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.</li> </ul>
(b) Oil spills and release of hazardous substances per Item 1(b) (c) above	<ul style="list-style-type: none"> <li>Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.</li> </ul>
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> <li>A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.</li> </ul>
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.</li> </ul>
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(m)(7)]	<ul style="list-style-type: none"> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(m)(6)].</li> <li>Division staff may waive the requirement for a written report on a case-by-case basis.</li> </ul>

**PART II, SECTION 6, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT**

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The E&S plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&S plan authority has approved these items.
- The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item 2(c) and (d) of this permit.
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sized, designed and maintained dewatering tanks, weir tanks, and filtration systems.
- Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in item (c) above.
- Velocity dewatering devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- Sediment removed from the dewatering treatment devices described in item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.



**NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING EFFECTIVE: 04/01/19**

DWG. FILE NAME: R30-11069 BASE

PLOT SCALE: 1" = 30'

**REVISIONS:**

DATE	DESCRIPTION

COMM. NUMBER: 036

DATE: JULY 18, 2024

SHEET C-8

11 OF 55

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**ADDITION TO CHEYENNE INTL.**  
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**THE THRASHER GROUP North Carolina**

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**REVEGETATION PLAN**

GENERAL: SEED AND MULCH ALL DISTURBED AREAS NOT COVERED BY PAVEMENTS. SEED AND MULCH EACH AREA AS IT IS BROUGHT TO FINAL GRADE.  
 A. IF CONSTRUCTION TECHNIQUES AND TIMING REQUIRES TEMPORARY SEEDING FOLLOW THE RECOMMENDATIONS LISTED BELOW.

Table 6.10a Temporary Seeding Recommendations for Late Winter and Early Spring	Seeding mixture Species Rye (grain) Annual lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains)	Rate (lb/acre) 120
Omit annual lespedeza when duration of temporary cover is not to extend beyond June.		
Seeding dates Mountains - Above 2500 ft: Feb. 15 - May 15 Piedmont - May 1 - Aug. 15 Coast Plain - Jan. 1 - May 1		
Soil amendments Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.		
Mulch Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt.		
Maintenance Refer to 11 growth is not fully adequate. Re-seed, re-fertilize and mulch immediately following erosion or other damage.		

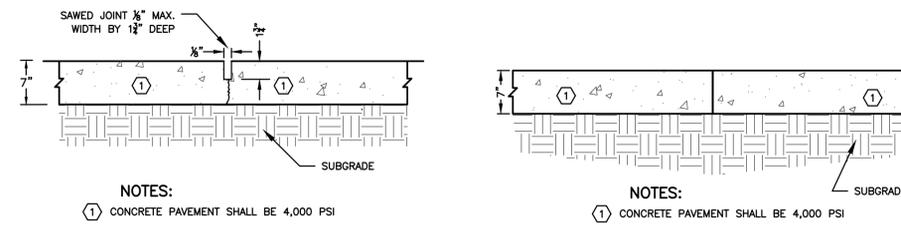
Table 6.10c Temporary Seeding Recommendations for Fall	Seeding mixture Species Rye (grain)	Rate (lb/acre) 120
Seeding dates Mountains - Aug. 15 - Dec. 15 Piedmont & Coastal Plain - Aug. 15 - Dec. 30		
Soil amendments Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 1000 lb/acre 10-10-10 fertilizer.		
Mulch Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.		
Maintenance Repair and re-fertilize damaged areas immediately. Topdress with 50 lb/acre of nitrogen in March. If it is necessary to extend temporary cover beyond June 15, overseed with 50 lb/acre Kobe (Piedmont and Coastal Plain) or Korean (Mountains) lespedeza in late February or early March.		

B. SPECIFICATIONS FOR PERMANENT SEEDING AND MULCHING: USE THE FOLLOWING RECOMMENDATIONS:

Table 6.11a Seeding No. 40 <sup>1</sup> for Gentle Slopes, Soils Somewhat Wettest or Drier than 3P, or with Physical Limitations: High Maintenance	Seeding mixture Species Blend of 50% KY-31 tall fescue and 50% mixture of two or more turf-type tall fescues or Blend of three or more turf-type tall fescues	Rate (lb/acre) 200-250
Seeding dates Fall: Aug. 25 - Sept. 15 Winter: Aug. 20 - Oct. 25 Spring: Feb. 1 - Mar. 31		
For quality turf avoid spring seeding. Where grading is completed during late winter or spring, an alternative is to seed 30 lb/acre Kobe lespedeza, keep mowed, prepare seedbed, and seed permanent mixture between Aug. 25 and Sept. 15.		
Soil amendments Apply lime and fertilizer according to soil tests, or apply 4,000 lb/acre ground agricultural limestone and 1000 lb/acre 10-10-10 fertilizer.		
Mulch Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt.		
Maintenance Fertilize according to soil test or apply 40 lb/acre nitrogen in Jan. or Feb., 40 lb in Sept., and 40 lb in Nov., from a 12-4-8, 16-4-8, or similar turf fertilizer. Avoid fertilizer applications during warm weather, as this increases stand losses to disease. Re-seed, fertilize, and mulch damaged areas immediately. Mow to a height of 2.5 - 3.5 inches as needed.		

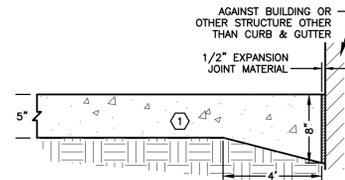
Table 6.10b Temporary Seeding Recommendations for Summer	Seeding mixture Species German millet	Rate (lb/acre) 40
In the Piedmont and Mountains, a small-nerved Sudangrass may be substituted at a rate of 50 lb/acre		
Seeding dates Mountains - May 15 - Aug. 15 Piedmont - May 1 - Aug. 15 Coast Plain - Apr. 15 - Aug. 15		
Soil amendments Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.		
Mulch Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt.		
Maintenance Refer to 11 growth is not fully adequate. Re-seed, re-fertilize and mulch immediately following erosion or other damage.		

1 SEEDING SCHEDULE  
C-9



CT - CONTRACTION JOINT

CST - CONSTRUCTION JOINT



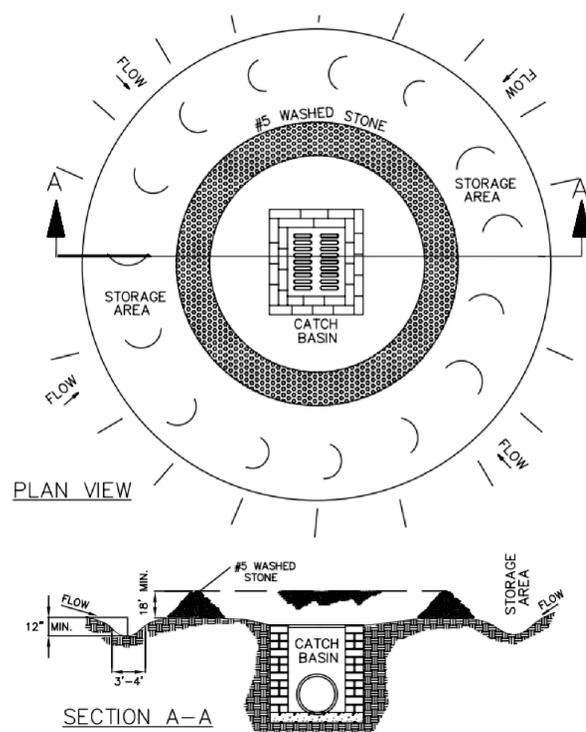
EJ/TE - EXPANSION JOINT WITH THICKENED EDGE

2 CONCRETE JOINTS  
C-9

SCALE: NONE

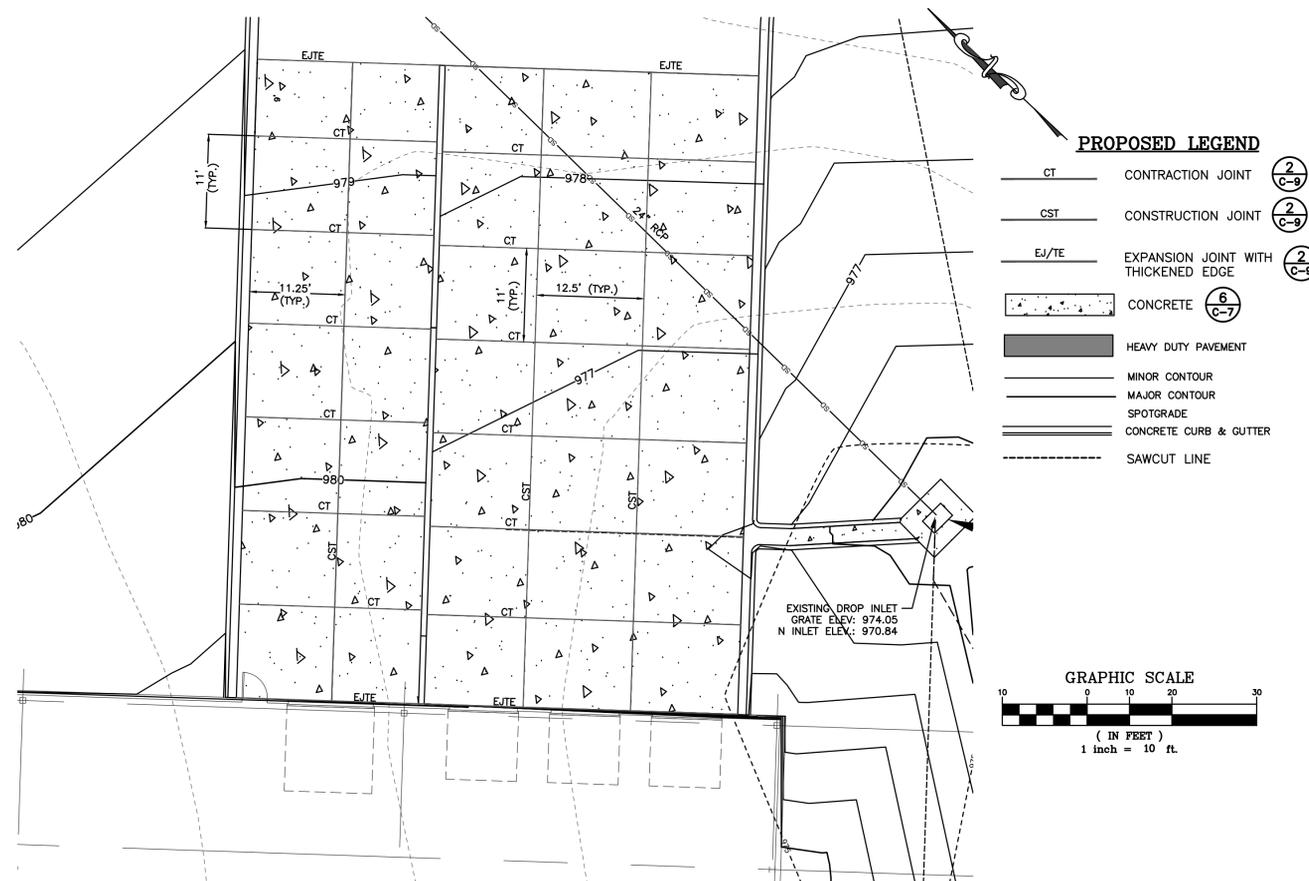
**GENERAL NOTES:**

1. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP.
2. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
3. THE STRUCTURE SHALL BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT AFTER EACH STORM EVENT AND REPAIRS MADE AS NECESSARY.
4. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE MINIMIZED.
5. THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE BASIN HAS BEEN PROPERLY STABILIZED.
6. ON LARGER DRAINAGE AREAS RIP RAP MAY BE REQUIRED UNDER THE WASHED STONE.



3 TEMP. ROCK DOUGHNUT INLET PROTECTION  
C-9

SCALE: NONE



INSET A  
SCALE: 1"=10'

THE THRASHER GROUP  
North Carolina



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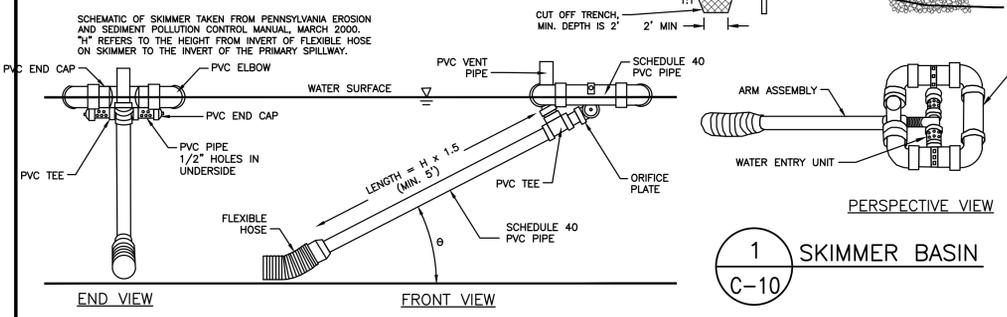
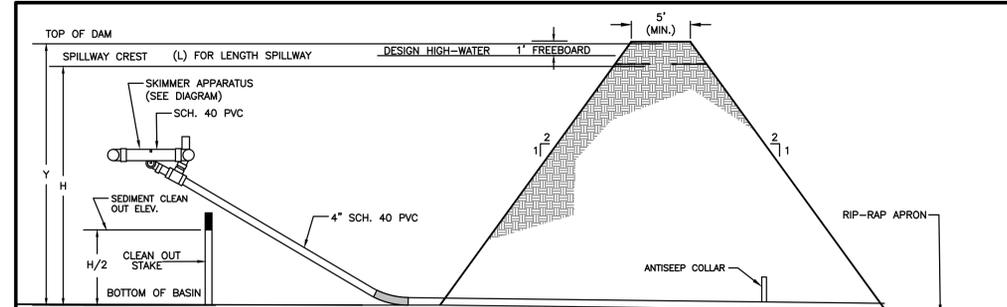
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C-9  
12 OF 55

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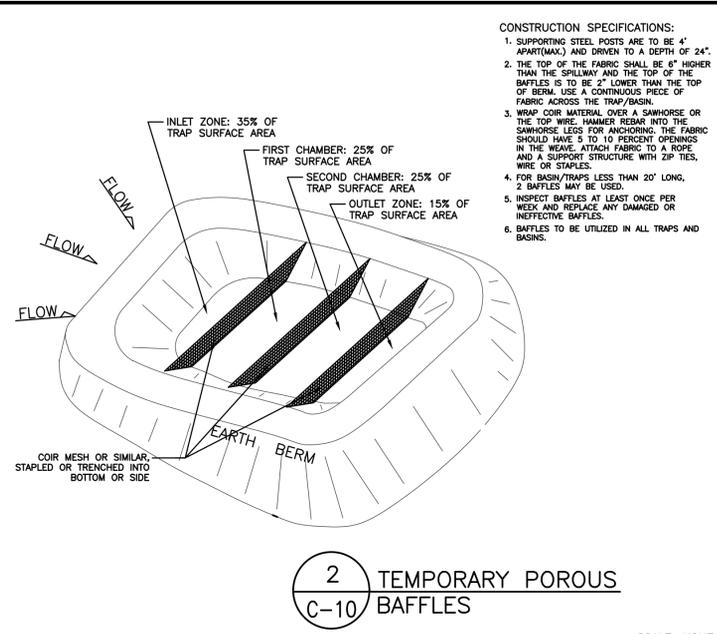
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1 SKIMMER BASIN  
C-10

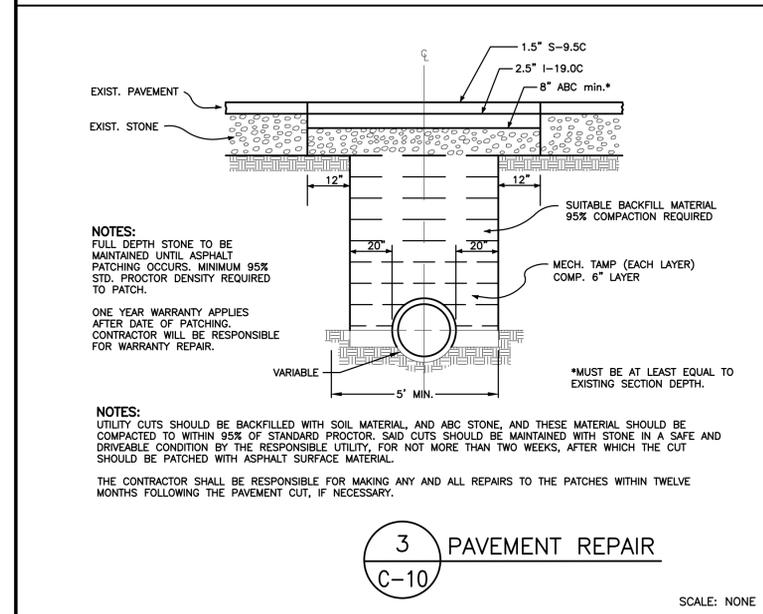
- GENERAL NOTES:**
- AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
  - THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION AS WELL AS OVERSIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE BEING CONSTRUCTED. SPILLWAYS SHOULD NOT BE CONSTRUCTED THROUGH FILL SECTIONS. ALL SPILLWAYS SHOULD BE LINED AND/OR RIPRAPPED.
  - SEDIMENT SHALL BE REMOVED AND BASIN RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE BASIN. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - THE BASIN SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NECESSARY.
  - CONSTRUCTION OPERATION SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION IS MINIMIZED.
  - ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER, UNLESS CERTIFIED BY REGISTERED GEOTECHNICAL ENGINEER.
  - SEDIMENT BASIN EMBANKMENTS SHOULD BE PROVIDED WITH EROSION CONTROL AND STABILIZATION.
  - STORAGE AREA IS SHOWN AS RECTANGULAR FOR ILLUSTRATIVE PURPOSES ONLY, AND MAY BE CONSTRUCTED IN ANY SHAPE PROVIDED THE MINIMUM STORAGE VOLUME REQUIREMENT IS MET. THE BASIN SHOULD ALSO BE ORIENTED SUCH THAT THE FILTER AND THE MAIN FLOW OF WATER AND SEDIMENT ARE ON OPPOSITE ENDS ON THE LONGER BASIN DIMENSIONS.
  - REQUIRED STORAGE IS 1800 CUBIC FEET OF STORAGE VOLUME PER ACRES OF DENUDED AREA.
  - THE LENGTH OF THE STONE OUTLET (SPILLWAY) IS TO BE BASED ON A 10 YEAR STORM.
  - WHENEVER TOPOGRAPHY ALLOWS, THE BASIN LENGTH SHOULD BE TWICE (2X) THE BASIN WIDTH, TO ALLOW FOR SETTLING. BAFFLES SHOULD BE PROVIDED IN THE BASIN WHERE THE LENGTH IS LESS THAN TWICE THE WIDTH.
  - CLEANOUT STAKES SHALL BE PLACED IN ALL SEDIMENT BASINS AT THE LOW POINT IN THE BASIN. THE STAKES SHALL BE MARKED SHOWING THE HALF FULL, CLEANOUT POINT, OF THE BASIN.
  - SAFETY FENCING 3' HIGH SHOULD BE PLACED AROUND ALL SEDIMENT BASINS.
  - FOR DESIGN OF SKIMMER TYPE SEDIMENT BASINS, REFER TO THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT, HEALTH, AND NATURAL RESOURCES, EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.
  - FOR SLOPES GREATER THAN 10' IN LENGTH AND PROTECTED BY SILT FENCE AT THE TOE OF THE SLOPE, SLOPE TERRACING WILL BE REQUIRED.
  - THE BERM ON SEDIMENT BASINS SHALL BE SEEDED ONCE FINAL GRADE HAS BEEN REACHED. THE SILT FENCE MAY BE REMOVED IF PERMISSION HAS BEEN GRANTED BY THE CITY/COUNTY LAND DEVELOPMENT INSPECTOR AFTER THE GRASS HAS GERMINATED AND STABLE GROUND HAS BEEN ESTABLISHED.
  - WASHED STONE AND WIRE BACKING SHALL BE USED WITH SILT FENCE WHENEVER SILT FENCE IS PLACED AT THE TOE OF A SLOPE >10' VERTICAL OR ALONG ANY CHANNEL OR WATER COURSE WHERE 50' OF BUFFER IS NOT PROVIDED.

SEDIMENT BASIN DESIGN PARAMETERS	BASIN NO.1
DRAINAGE AREA DRAINING TO BASIN (AC)	2.43 AC
DENUDED AREA DRAINING TO BASIN (AC)	1.32 AC
ELEVATION BASIN BOTTOM (FT)	972.00
ELEVATION TOP OF DAM (FT)	975.50
ELEVATION SPILLWAY (FT)	974.00
CLEANOUT STAKE ELEVATION (FT)	973.00
SKIMMER SIZE (IN)	2
SKIMMER ORIFICE (IN)	1.25
REQUIRED SEDIMENT STORAGE (CF)	2,478
AVAILABLE SEDIMENT STORAGE (CF)	4,478
REQUIRED SURFACE AREA (SF)	2,478
PROVIDED SURFACE AREA (SF)	2,886



2 TEMPORARY POROUS BAFFLES  
C-10

- CONSTRUCTION SPECIFICATIONS:**
- SUPPORTING STEEL POSTS ARE TO BE 4" APART (MAX) AND DRIVEN TO A DEPTH OF 24".
  - THE TOP OF THE FABRIC SHALL BE 6" HIGHER THAN THE SPILLWAY AND THE TOP OF THE BAFFLES IS TO BE 2" LOWER THAN THE TOP OF BERM. USE A CONTINUOUS PIECE OF FABRIC ACROSS THE TRAP/BASIN.
  - WRAP COIR MATERIAL OVER A SAWHORSE OR THE TOP WIRE. HAMMER REBAR INTO THE SAWHORSE LEGS FOR ANCHORING. THE FABRIC SHOULD HAVE 5 TO 10 PERCENT OPENINGS IN THE WEAVE. ATTACH FABRIC TO A ROPE AND A SUPPORT STRUCTURE WITH ZIP TIES, WIRE OR STAPLES.
  - FOR BASIN/TRAPS LESS THAN 20' LONG, 2 BAFFLES MAY BE USED.
  - INSPECT BAFFLES AT LEAST ONCE PER WEEK AND REPLACE ANY DAMAGED OR INEFFECTIVE BAFFLES.
  - BAFFLES TO BE UTILIZED IN ALL TRAPS AND BASINS.



3 PAVEMENT REPAIR  
C-10

- NOTES:**
- FULL DEPTH STONE TO BE MAINTAINED UNTIL ASPHALT PATCHING OCCURS. MINIMUM 95% STD. PROCTOR DENSITY REQUIRED TO PATCH.
  - ONE YEAR WARRANTY APPLIES AFTER DATE OF PATCHING. CONTRACTOR WILL BE RESPONSIBLE FOR WARRANTY REPAIR.
  - UTILITY CUTS SHOULD BE BACKFILLED WITH SOIL MATERIAL, AND ABC STONE, AND THESE MATERIAL SHOULD BE COMPACTED TO WITHIN 95% OF STANDARD PROCTOR. SAID CUTS SHOULD BE MAINTAINED WITH STONE IN A SAFE AND DRIVEABLE CONDITION BY THE RESPONSIBLE UTILITY, FOR NOT MORE THAN TWO WEEKS, AFTER WHICH THE CUT SHOULD BE PATCHED WITH ASPHALT SURFACE MATERIAL.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ANY AND ALL REPAIRS TO THE PATCHES WITHIN TWELVE MONTHS FOLLOWING THE PAVEMENT CUT, IF NECESSARY.

DWG. FILE NAME: R30-11069 BASE  
PLOT SCALE: 1" = 30'

**REVISIONS:**

DATE	DESCRIPTION



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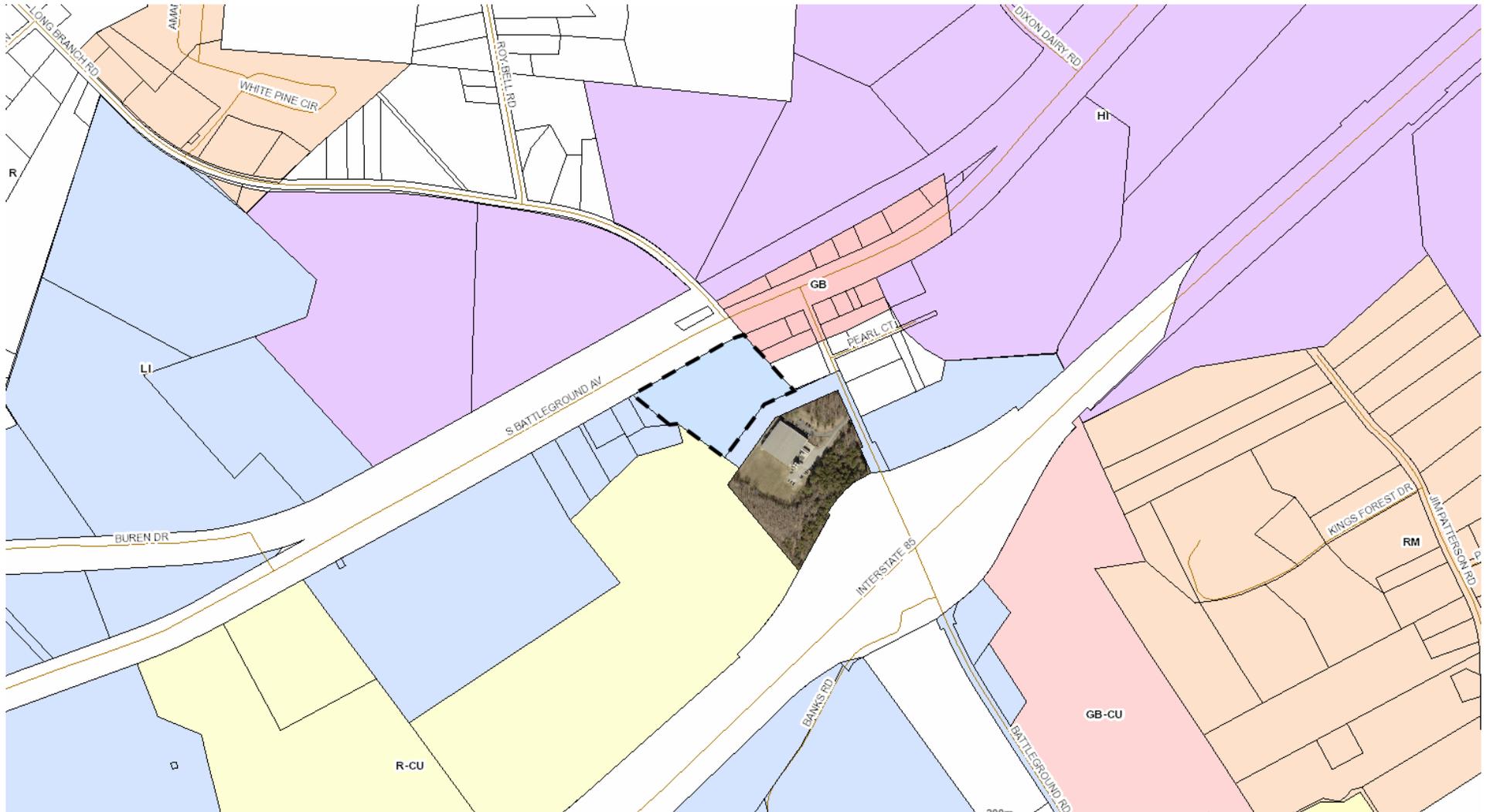
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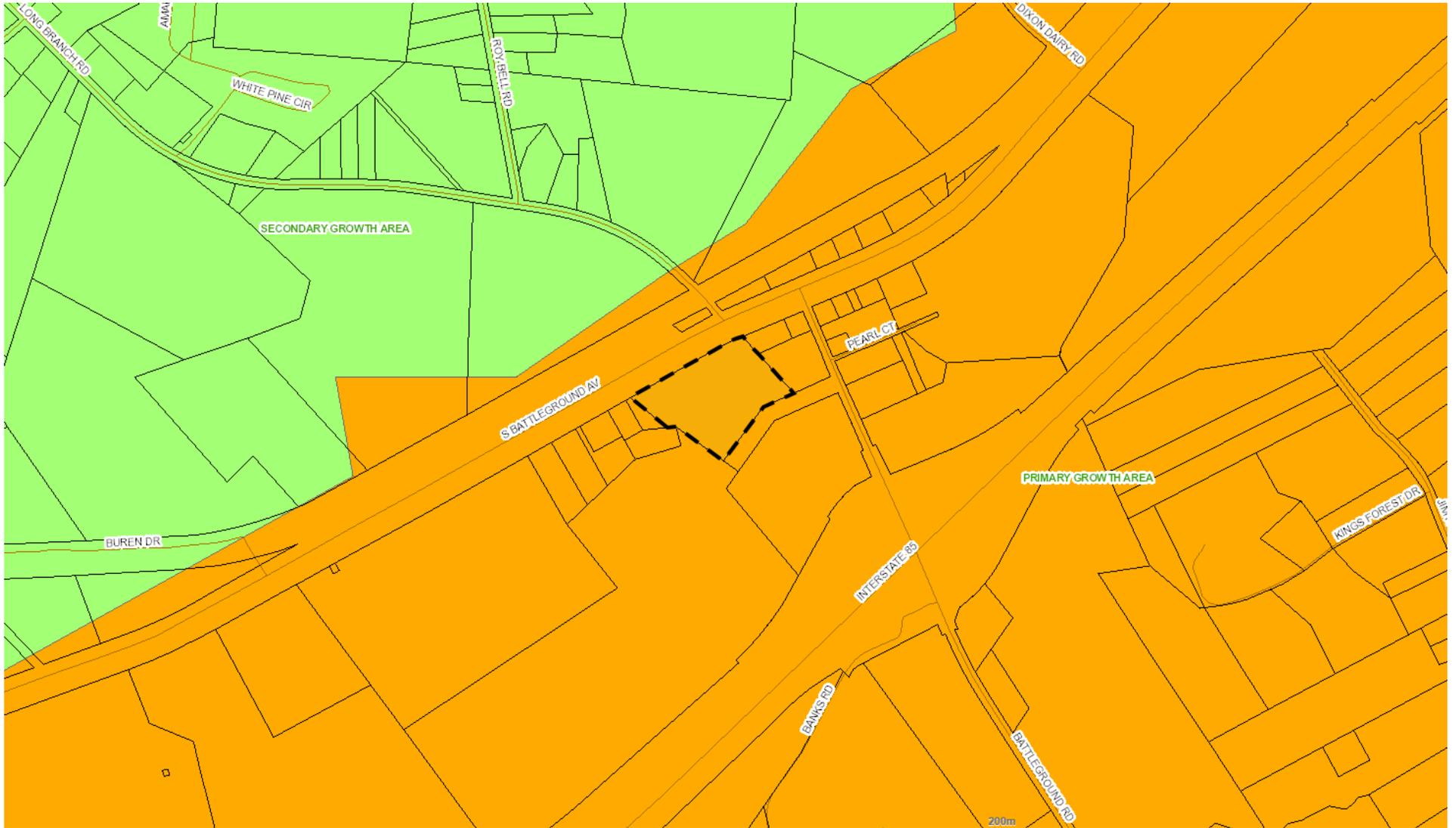
**Board of Adjustment Case #25-10**  
790 S. Battleground Ave. Parcel #50833  
Approximate location of addition



**Board of Adjustment Case #25-10**  
790 S. Battleground Ave. Parcel #50833  
Zoning Map



**Board of Adjustment Case #25-10**  
790 S. Battleground Ave. Parcel #50833  
Land Use Plan Map





**Cleveland County**  
NORTH CAROLINA

# APPLICATION FOR A SPECIAL USE PERMIT

APPLICANT NAME: Eli Witherspoon - Pinnix Inc

MAILING ADDRESS: PO Box 100

CITY/STATE /ZIP: Gastonia, NC 28053

PHONE: 704-898-2552 E-MAIL: ewitherspoon@pinnix.com

**TO THE CLEVELAND COUNTY BOARD OF ADJUSTMENT:**

I/We, the undersigned, hereby petition the Board of Adjustment to issue a Special Use permit in the name of:

Cheyenne International LLC

for the use of the property located at: 790 S. Battleground Ave, Grover, NC 28073,

Parcel #(s) 50833 in Cleveland County Zoning District.

**Title to this property is in the name of:**

Mountaineer Holdings LLC

Owner Name(s)

701 S. Battleground Ave.

Mailing Address

Grover / NC / 28073

City / State / Zip Code

The authority of the Cleveland County Board of Adjustment to grant the requested Special Use Permit is contained in the Cleveland County Code, Section(s): 12-33 Special use permit required for expansion

**The requested Special Use is described as follows:** 12-8C - Expanding a non-conforming use in LI zoned property

**Include a site plan of the subject property.** See Section 12-33(a) for site plan requirements. The Board of Adjustment may request additional information as listed in Section 12-33(b).

It is understood by this applicant that the approval of this application by the Board authorizes only the Special Use requested herein by this applicant and that all conditions and requirements imposed by the Development Ordinance and/or by the Board shall be properly always maintained and complied with.

I/We hereby certify that the information contained in this application, including attachments, is true and correct to the best of my knowledge and belief.

Digitally Signed by Eli Witherspoon  
Date: 2025.01.06 16:56:16-05'00'

1/06/2025

Signature of Applicant

Date of Application

*For office use:*

**Payment Code:** ZP 33 Special Use Permit

**Fee:** \$300

Paid on: 1-8-2025 ZP: 181905 Case #: 25-01